



Planning and Zoning Commission

AGENDA

Tuesday, November 2, 2021 ♦ 7:00 p.m.

Join Zoom Meeting

Video link: <https://zoom.us/j/7709642244>

Dial-in #: (929) 205-6099

Meeting ID: 770 964 2244

➤ **Call to Order**

➤ **Determination of a Quorum**

➤ **Public Comments**

Comments to the Planning and Zoning Commission should be limited to no more than two minutes. Groups wishing to address an issue should select one or two spokesperson(s). The time allowed for all issues shall not exceed a total of fifteen minutes. Issues raised at this time are generally referred to the Director of Planning and Zoning for review. Responses will be provided at a later date.

➤ **Approval of the Meeting Agenda**

➤ **Approval of October 5, 2021, Meeting Minutes**

➤ **Public Hearing**

- **Primary Variance 2021145 SW South Fulton** - A request to reduce the rear yard setback from 30 ft to 20 ft. [Section 80-90(e)(2)(c)]

➤ **Old Business**

➤ **New Business**

- **Conceptual Site Plan 2021136 Dollar General** - A request to review the conceptual site plan for a 9,100 square foot retail commercial building for a Dollar General on Senoia Road/Meadow Glen Parkway
- **LCI Downtown Master Plan** - Presentation by KC Krzic, The Collaborative Firm
- **Conceptual Site Plan 2021144 Fairburn DC Howell Avenue** - A request to review the conceptual site plan for an 81,983 square-foot warehouse development on Howell Avenue.
- **Conceptual Site Plan 2021055 Copart** - A request to review the conceptual site plan for a temporary parking facility development on Roosevelt Highway (Highway 29).

CITY OF FAIRBURN



Planning and Zoning Commission

AGENDA

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Dial-in #: (929) 205-6099

Meeting ID: 770 964 2244

- **Conceptual Site Plan 2021141 Fairburn Station** - A request to review the conceptual site plan for a 7,350 square foot multi-tenant retail commercial development on Senoia Road/Highway 74.
- **Staff Report**
- **Commissioner Comments**
- **Adjournment**

CITY OF FAIRBURN

56 SW Malone Street, Fairburn, GA 30213-1341 | (770) 964-2244 | Fax (770)969-3474 | www.fairburn.com



PLANNING AND ZONING COMMISSION MEETING MINUTES

City Hall
56 Malone Street
Fairburn, GA 30213
Tuesday, October 5, 2021
7:00 p.m.

Due to the COVID-19 pandemic, the meeting was held virtually via Zoom video conferencing.

Elise Stoney, Chair
Elizabeth Echols, Vice-Chair
Leonte Benton
Jason Jones
Tony Smith
Anthony Stewart
John Jerry Williams

Director of Planning and Zoning: Tarika Peeks
City Attorney: Valerie Ross

- I. **MEETING CALLED TO ORDER:** The meeting was called to order at 7:00 p.m. by Chair Stoney.
- II. **ROLL CALL:** All Commissioners were present.
- III. **PUBLIC COMMENTS:** None
- IV. **APPROVAL OF AGENDA:** Commissioner Smith made a motion to **APPROVE** the agenda. Commissioner Williams seconded. **THE MOTION CARRIED.**
- I. **APPROVAL OF PREVIOUS MEETING MINUTES:** Commissioner Jones made a motion to **APPROVE** the September 7, 2021 minutes. Commissioner Stewart seconded. **THE MOTION CARRIED.**
- V. **PUBLIC HEARING:** Commissioner Williams made a motion to remove the Public Hearing (Primary Variance 2021145 SW South Fulton, LLC) item from the agenda. Commissioner Jones seconded. **THE MOTION CARRIED.**
- VI. **OLD BUSINESS:** None
- VII. **NEW BUSINESS:**
TEXT AMENDMENT 2021-001TA: SPECIAL EVENT VENUE - A text amendment to Chapter 80 Zoning, to add Article XVI Special Event Venue, Sections 80-497- 80-502.

SUMMARY/STAFF PRESENTATION:

Ms. Peeks stated that a text amendment is being presented. She stated that over the past few years, there have been several inquiries from citizens and non-citizens wanting to know if they could move a special event venue into the City of Fairburn. Currently, the city's ordinance does not have any provisions to allow that type of use. Ms. Peeks stated that the staff decided to create a Special Event Venue ordinance to address the desire.

Ms. Peeks stated that the Special Event Venue document is very comprehensive and addresses the permitting process. She stated that the applicant will be required to submit an event management plan, traffic plan, noise control, meet the City's sign requirements and address parking and lighting.

She stated that staff is recommending approval of the text amendment to Chapter 80, Article XVI for Special Event Venues.

Commissioner Jones wanted to know if the 75-foot setback would be enough space between the venue and any nearby residential properties. Ms. Peeks stated that the special event venue will only be allowed in the AG (Agriculture), OI (Office Institutional), C-2 (General Commercial), M-1 (Light Industrial), and M-2 (Heavy Industrial) zoning districts. She stated that it is very unlikely that a venue will be adjacent to a residential property, however, residential is allowed in the AG zoning district, and staff wanted to make sure that the buffer and setback would be enough so the venue would not be a nuisance or disturbance to residents. She stated that, because of the potential noise, the noise regulations were added. Each applicant must also notify all residents in the area of the yearly events and schedules that will take place. She stated that she feels the 75 feet setback is adequate, but will review it again if that is the desire.

Commissioner Jones stated that he would be in favor of getting more understanding of the noise requirement or making the buffer larger.

Commissioner Jones also wanted to know what would be the requirements related to alcohol. Ms. Peeks stated that the alcohol ordinance was created around 2016 primarily for event centers, allowing them to serve alcohol only. Facility owners or event hosts can not sell alcohol, this includes the sale of tickets for alcohol. They are required to complete the permitting process to serve alcohol. In order to serve alcohol, venue owners will have to get a separate permit.

Commissioner Jones stated that he wants to ensure that the sale of tickets would be prohibited and if ever in violation, the venue owner's permit would be revoked. Ms. Peeks stated that section 80-502 of the ordinance states that a permit can be revoked by the Police Department and events can be stopped at any time.

No other comments were made.

Commissioner Williams made a motion to recommend **APPROVAL** of **Text Amendment 2021-001TA Special Event Venue**. Commissioner Smith seconded. **The MOTION CARRIED**

VIII. STAFF REPORT: Ms. Peeks stated the next meeting will be held virtually on November 2, 2021.

IX. COMMISSIONER COMMENTS: Commissioner Jones wanted to remind everyone that this week is Georgia Cities Week, and encouraged everyone to come out and participate in some local community clean-up.

X. ADJOURNMENT: Commissioner Williams made a motion to **ADJOURN**. Commissioner Smith seconded. **THE MOTION CARRIED.**

MEETING ADJOURNED: The meeting adjourned at 7:20 p.m.

Approval Signatures	
Date Approved	
Elise Stoney, Chairman	
Brandon Paulk, Recording Secretary	



**CITY OF FAIRBURN
PLANNING & ZONING COMMISSION
AGENDA ITEM**

Date: November 2, 2021
To: Planning and Zoning Commission
From: Tarika Peek, Planning and Zoning Director
Agenda Item: Primary Variance 2021145 - SW South Fulton Fairburn, LLC: To reduce the rear yard setback from 30 ft to 20 ft. - **WITHDRAWAL**

AGENT/APPLICANT/PETITIONER INFORMATION

Applicant: SW South Fulton, LLC
Property Owner: White Brookwood LLC

PROPERTY INFORMATION

Address	0 Meadow Glen Parkway
Parcel Number, Land Lot(s) and District:	[parcel ID #09F070000271062], Land Lot 27, District 09
Size:	+/-2.95 acres
Current Zoning:	PD (Planned Development)
Overlay District:	Highway 74 Overlay District
Comprehensive Plan/Future Land Use:	Highway Mixed Use

INTENT

The applicant is requesting a primary variance as follows:

- 1) To reduce the rear yard setback from 30 ft. to 20 ft. [Section 80-90(e)(2)(c)] - **WITHDRAWAL**

STANDARDS FOR CONSIDERATION

Section 80-251 of the City's Zoning Ordinance includes one or more criteria that must be met before a variance can be approved by the Planning and Zoning Commission:

- A. "Relief, if granted, would be in harmony with, or, could be made to be in harmony with, the general purpose and intent of this chapter."
- B. "The application of the particular provision of this chapter to a particular piece of property, due to extraordinary and exceptional conditions pertaining to that property because of its size, shape or topography, would create an unnecessary hardship for the owner while causing no detriment to the public."
- C. "Conditions resulting from existing foliage or structure brings about a hardship whereby a sign meeting minimum letter size, square footage, and height requirements cannot be read from adjoining public road".

VARIANCE ANALYSIS

A. *"Relief, if granted, would be in harmony with, or, could be made to be in harmony with, the general purpose and intent of this chapter."*

N/A

B. *"The application of the particular provision of this chapter to a particular piece of property, due to extraordinary and exceptional conditions pertaining to that property because of its size, shape or topography, would create an unnecessary hardship for the owner while causing no detriment to the public."*

N/A

C. *"Conditions resulting from existing foliage or structure brings about a hardship whereby a sign meeting minimum letter size, square footage, and height requirements cannot be read from adjoining public road".*

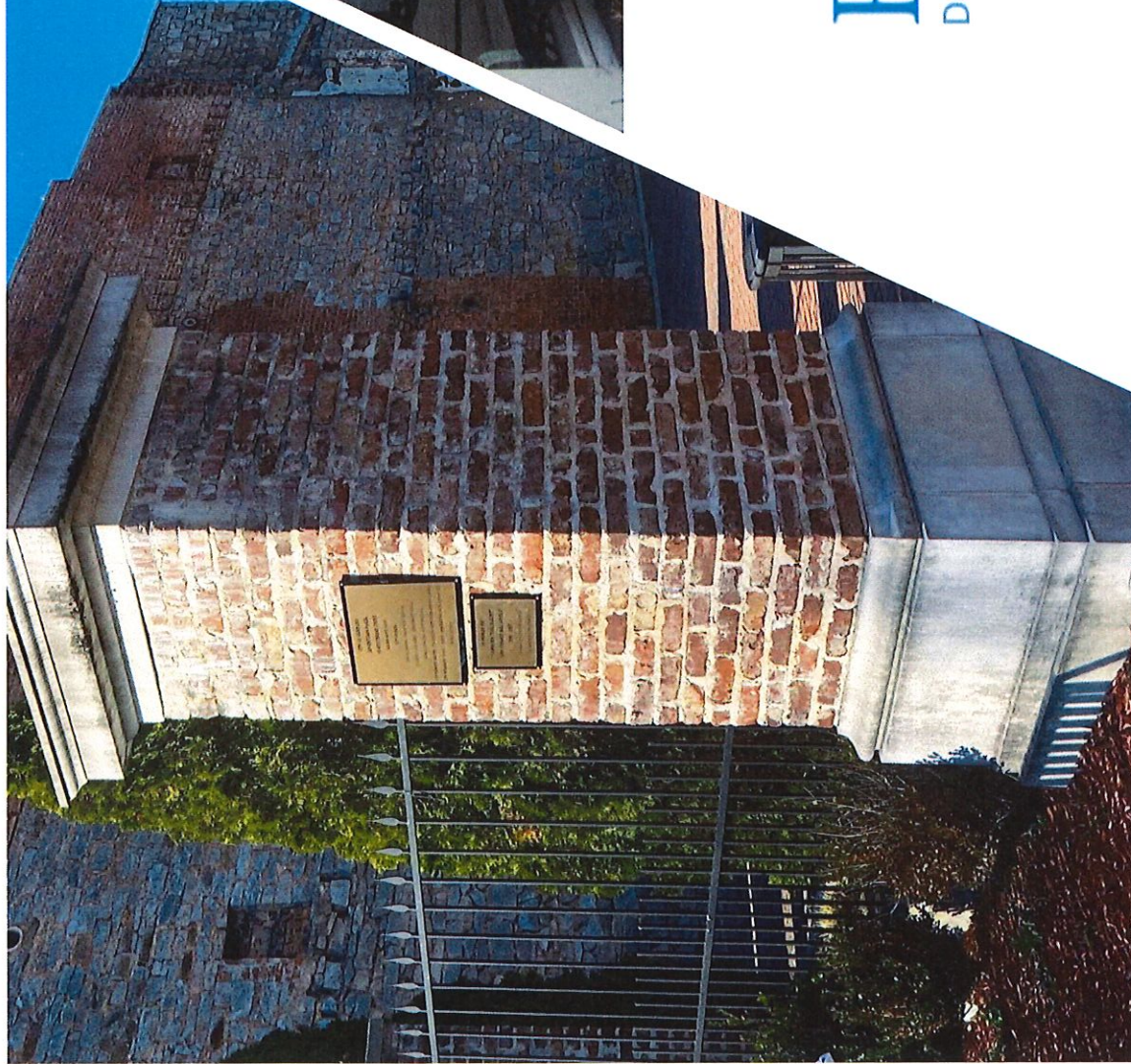
N/A

RECOMMENDATION

According to Section 80-268 of the City's Code of Ordinances, a variance application can be withdrawn.

- (a) An application may be withdrawn by the applicant in writing at any time before the public hearing notice advertisement is published and/or the notice of the hearing is posted on the property.
- (b) Applications which do not require a public hearing may be withdrawn at any time before notification of a decision is mailed.
- (c) Once the public hearing has been properly advertised, the request for withdrawal of the application must be placed on the public hearing agenda and the appropriate decision-making body shall act on the withdrawal request.

The applicant has requested for the primary variance application to be withdrawn. The public hearing for the variance application has been advertised, therefore it must be placed on the public hearing agenda. Staff is recommending a **WITHDRAWAL** of primary variance application 2021145 - SW South Fulton Fairburn, LLC: to reduce the rear yard setback from 30 ft to 20 ft.



Fairburn

Downtown Master Plan Update



A/C



Teaming with:



Project Vision

The community vision seeks to have a **thriving, vibrant historic downtown** that provides access to a **diverse array of retail, restaurants, entertainment, office, and housing** options. The city strives for a **walkable and pedestrian friendly** downtown with **connectivity via all modes of transportation** to the surrounding neighborhoods and commercial nodes. The community seeks to leverage the existing **quaint, historic character** that is uniquely Fairburn by **enhancing public art investment** and utilizing **creative placemaking** and design strategies.

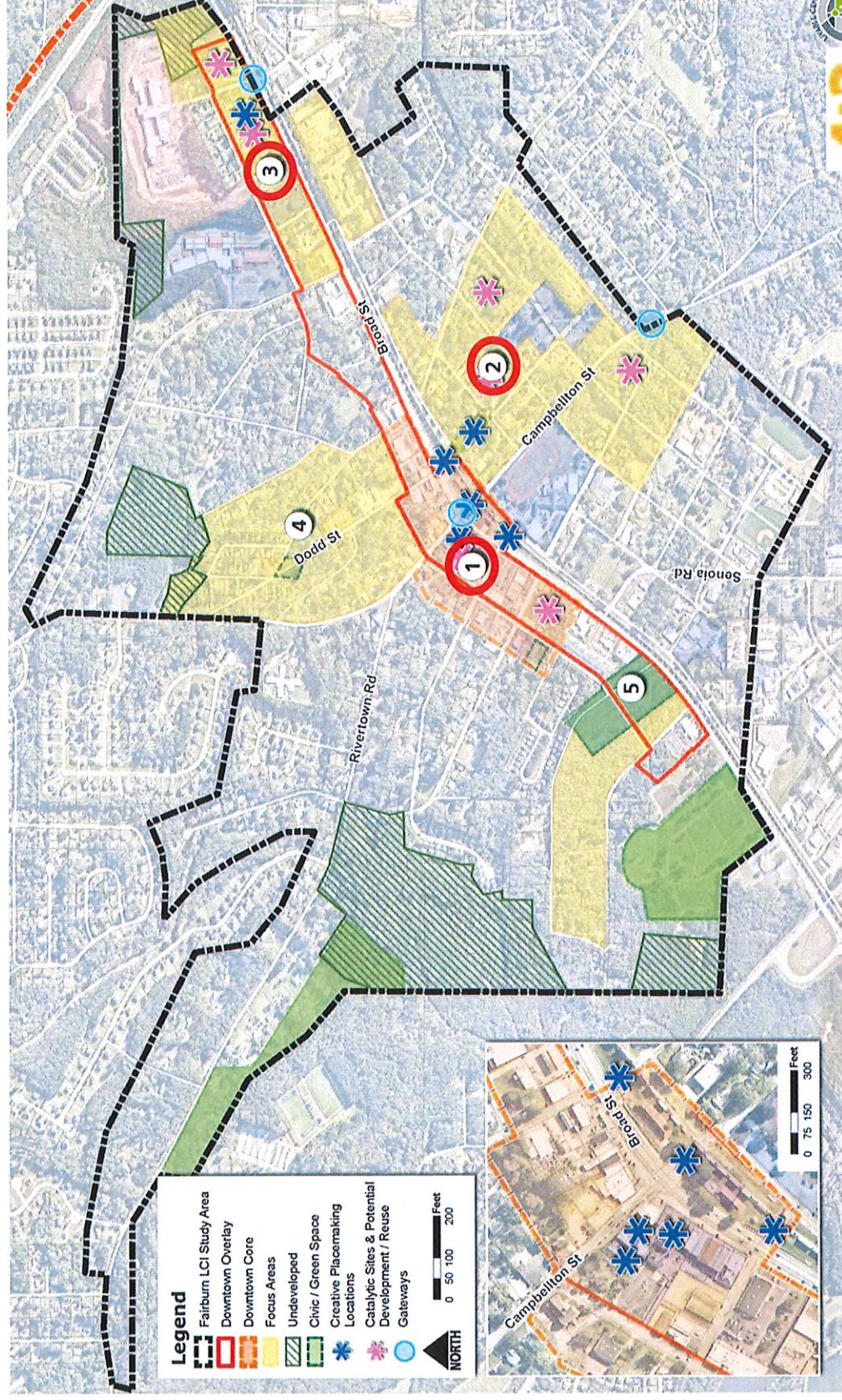


Project Goals

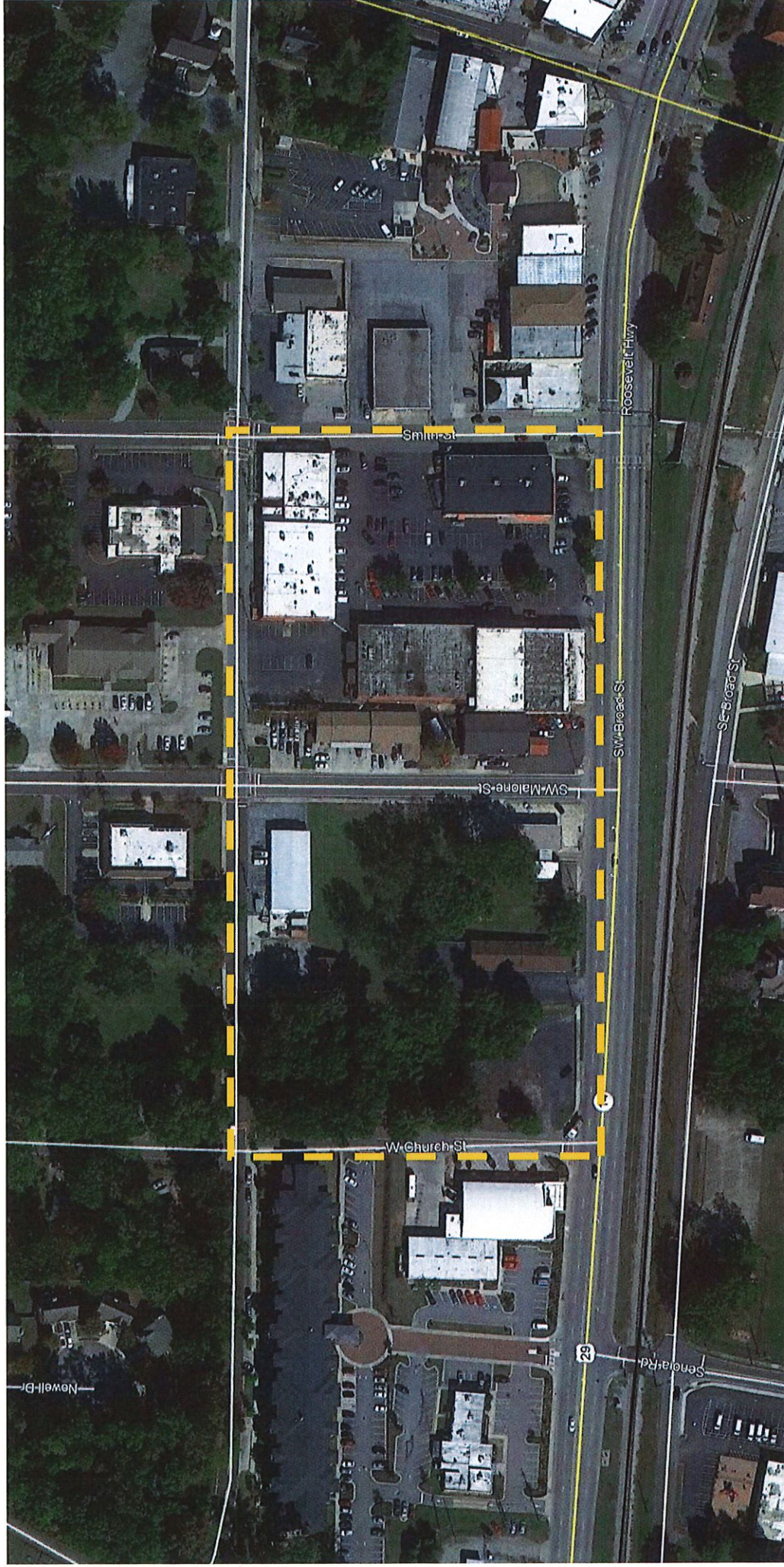
- Determine catalyst sites that further the community vision for the study area and create innovative investment strategies.
- Encourage a diversity of residential, employment, shopping, and recreation opportunities in the study area with a focus on capitalizing on local business development.
- Provide mobility access that is inclusive of a range of travel modes including transit, roadways, walking, and biking throughout the study area.
- Utilize public arts program and creative placemaking to establish a sense of place.
- Improve connectivity to surrounding neighborhoods.
- Create safe travel environment for pedestrians, bicyclists, and motorized vehicles.



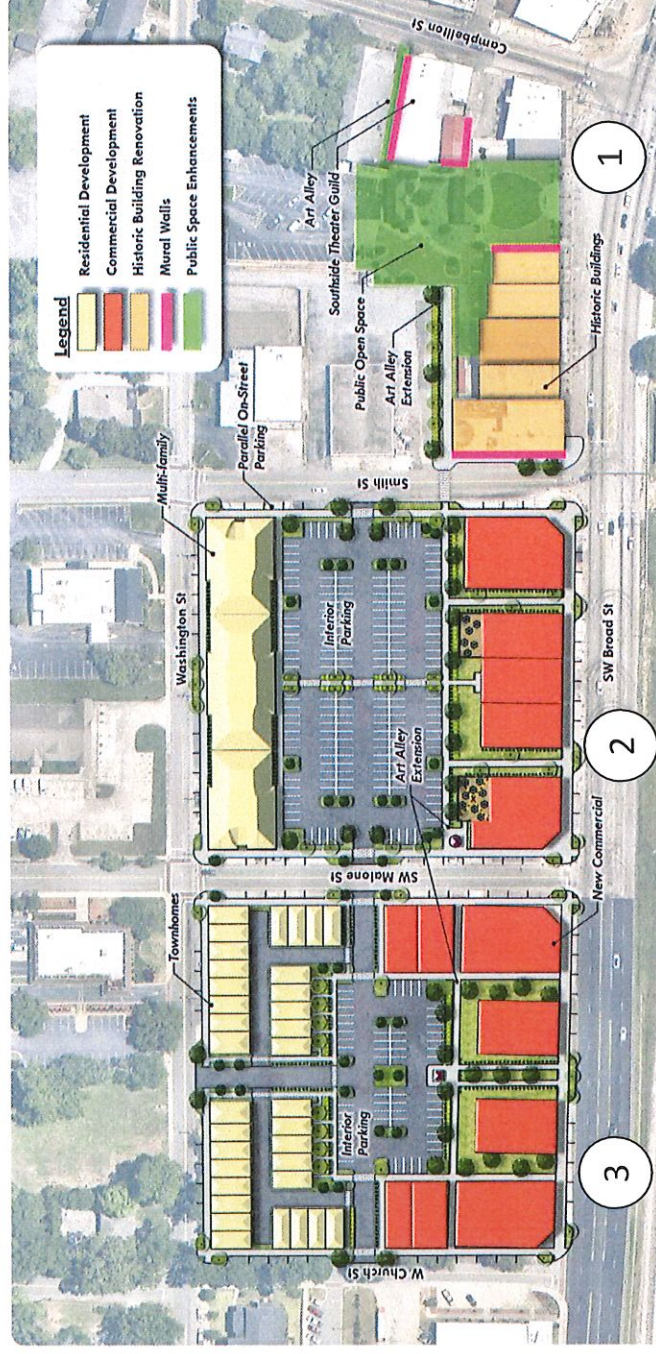
Catalyst Site Recommendations – Downtown Expansion



Catalyst Site Recommendations – Downtown Expansion



Catalyst Site Recommendations – Downtown Expansion



Block 1

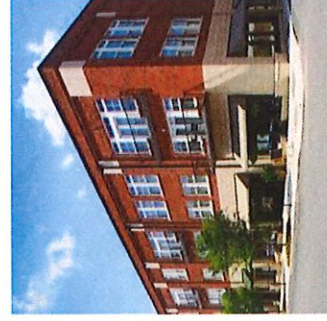
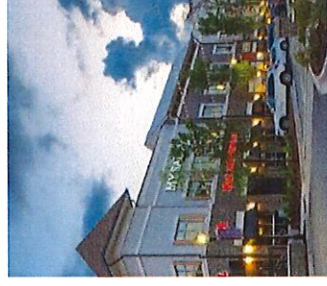
- Stage and Courtyard - Enhance and program
- Art Alley and Extension
- Rehab and reposition historic buildings
- Mural Walls
- Extend streetscape

Block 2

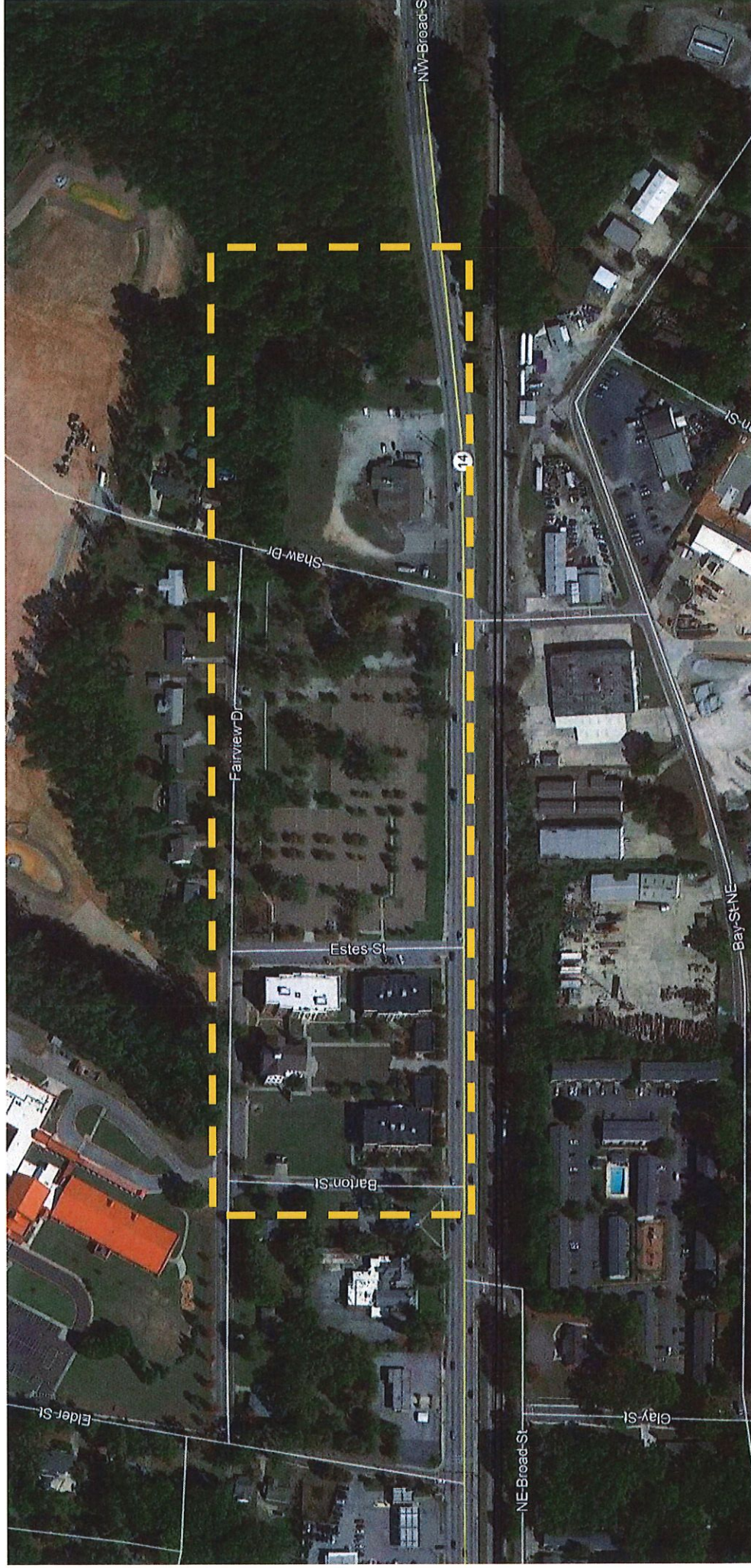
- Complex ownership
- Strategic acquisition
- Mixed-use commercial
- Multifamily or senior residential
- Surface parking

Block 3

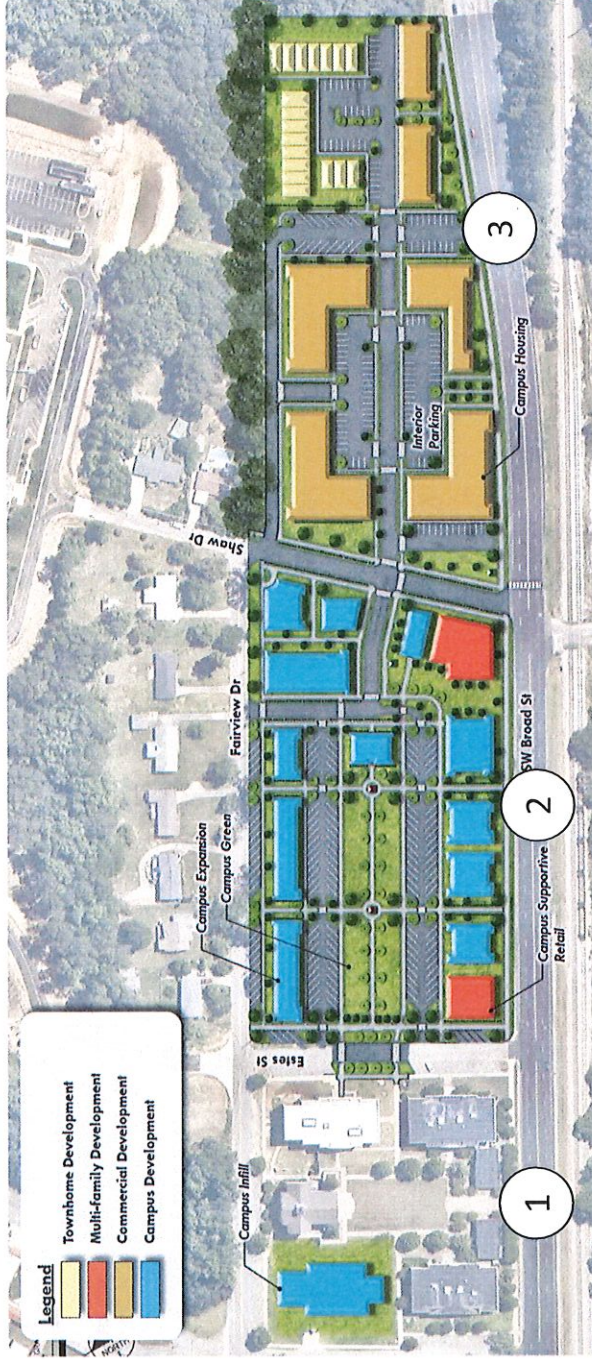
- Mostly undeveloped
- Mixed-use commercial
- Residential
- Surface parking
- Extend streetscape and Art Alley
- Mayors Park



Catalyst Site Recommendations – Fairburn Education Campus Expansion



Catalyst Site Recommendations – Fairburn Education Campus Expansion



Block 1

- Complete campus with fifth building
- Public art and activation

Block 2

- Extend campus and campus green
- Maintain parking
- Education uses
- Workforce and small business training
- Entrepreneur center and incubator
- Campus serving retail
- Extend streetscape and on-street parking
- Public art and activation

Block 3

- Mostly undeveloped
- Multi-family residential
- Faculty, students, etc.



Catalyst Site Recommendations – South of Broad Neighborhood



Catalyst Site Recommendations – South of Broad Neighborhood



Block 1

- City-owned property
- Extend Malone Street and Cole Street
- Community open space and trail
- Mix single-family residential
- Reflects historic housing types
- “Missing middle”
- Best opportunity for shorter-term development
- Add residential within walking distance to Downtown
- Public art and activation

Block 2

Phase 2

- New access/frontage
- Follow development in Block 1
- Partner or acquire



A:C

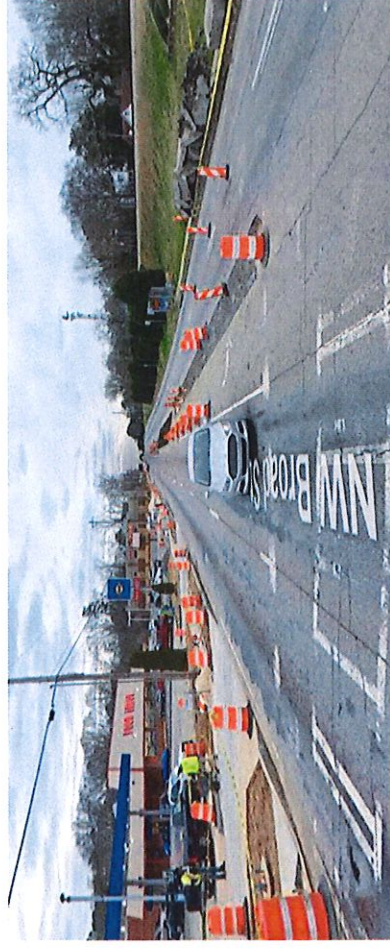


Teaming with:

Kimley-Horn
Horn
Horn
Horn

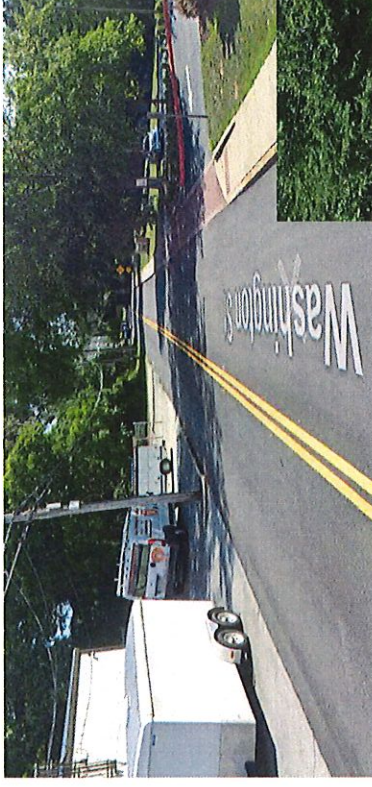
Key Roadway and Safety Improvements

- Remaining Phases of Broad Street Streetscape Project
 - Dodd Street to SR 138
 - Brooks Drive to Smith Street
- Pedestrian Tables along Broad Street
- W. Campbellton Road at Rivertown Road Realignment



Key Bicycle and Pedestrian Improvements

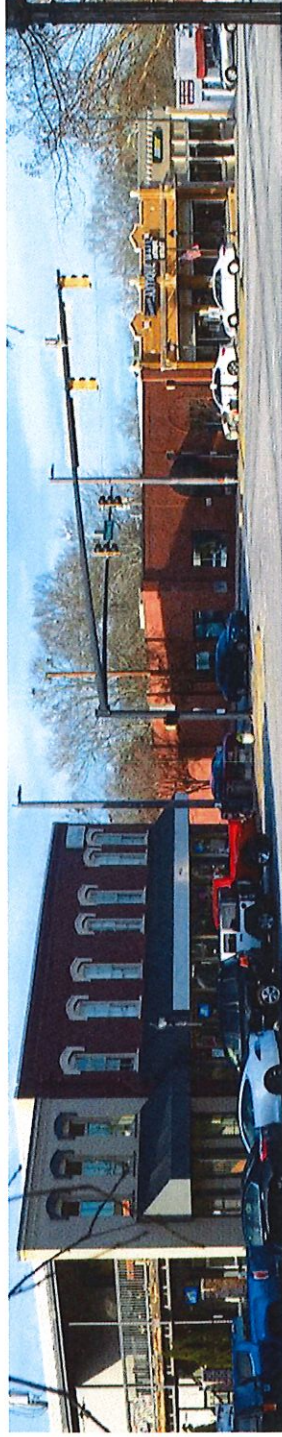
- Downtown
 - Both sides of Washington Street from Church Street to Manor at Broad Street, including crosswalks
 - Both sides of Mullis Street from Campbellton Street to Orchard Street, including crosswalks
 - Malone Street from Valley View Drive to Washington Street, including crosswalks
- Campbell Elementary School, Landmark Christian School
- Senoia Road Improvements
 - Streetscapes from Broad Street to Bay Street
 - Bike Lanes from W Broad to SR 74
- New Connection to Aerotropolis Greenway



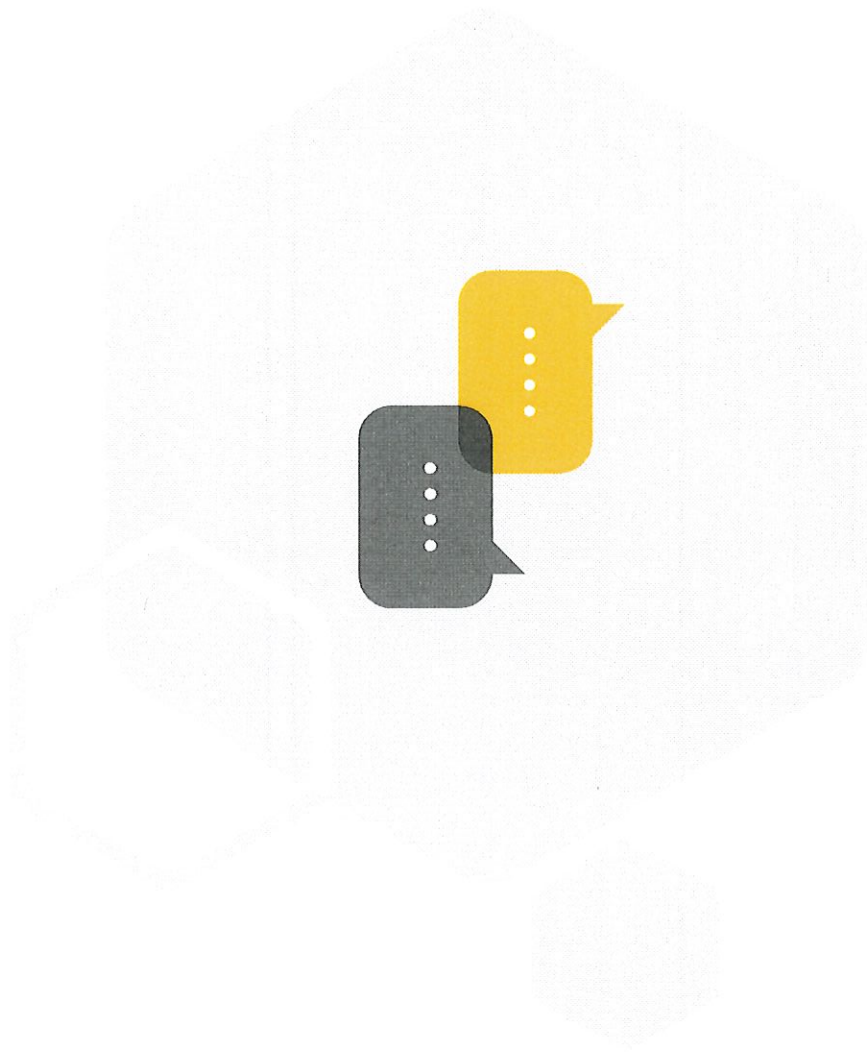
Implementation Strategy

This Plan will continually move forward (not sit on shelf) due to the incorporation of:

- Five-Year Implementation Plan
 - Recommendations – actions and projects
 - Evaluation process used monitor plan implementation
- 100-Day Action Plan
 - Includes no-cost or very low-cost actions and organization steps



Thank You!



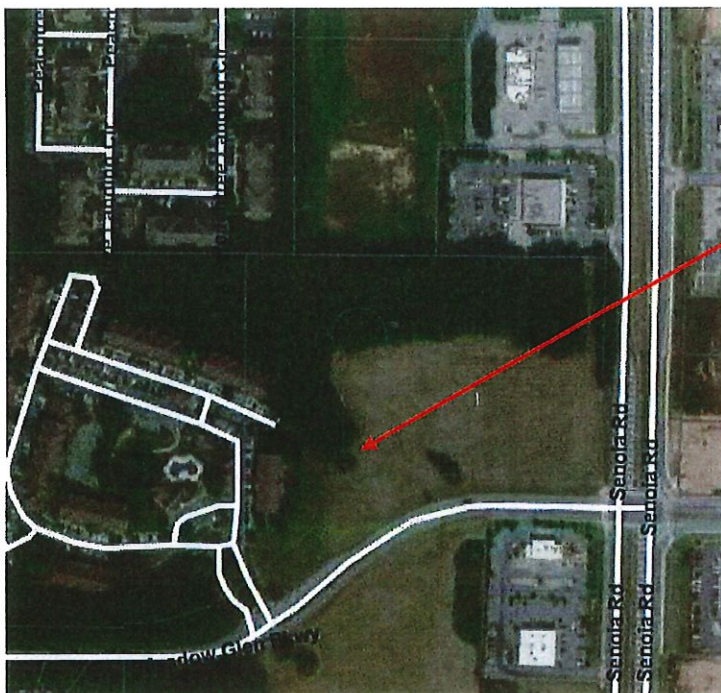
**CITY OF FAIRBURN
PLANNING AND ZONING COMMISSION
AGENDA ITEM**

Date: November 2, 2021
To: Planning and Zoning Commission
From: Tarika Peeks, Director of Planning Zoning
Agenda Item: **Conceptual Site Plan 2021136** - Dollar General store: A request to review the conceptual site plan for a 10,640 square foot retail commercial building for a proposed Dollar General store on Meadow Glen Pkwy.

BACKGROUND: The subject property is located at the corner of Senoia Road/Hwy 74 and Meadow Glen Pkwy within the Highway 74 Overlay District. The site is approximately 2.95 acres and zoned PD (Planned Development).

DISCUSSION: The applicant is proposing to construct a 10,640 square foot retail commercial building for a proposed Dollar General store with associated driveways, parking, utilities, and landscaping. A 100' buffer is required adjacent to the residential use at the rear of the subject property. The site will have one ingress/egress along Meadow Glen Pkwy with a deceleration lane to ensure smooth traffic flow along the corridor. If required by the traffic study, a left-turn lane will be installed on Meadow Glen Pkwy. Also, a proposed access easement from the adjacent Tractor Supply Company will provide additional access to the site. Stormwater management is proposed by an onsite detention system. The proposed Dollar General building will be constructed of four sides brick with architectural accents and fenestration elements.

AERIAL VIEW OF THE SUBJECT PROPERTY



Parcel ID # 09F070000271062
Senoia Rd/Meadow Glen Pkwy
PD (Planned Development)
2.95 acres

STAFF RECOMMENDATION: APPROVAL CONDITIONAL of the conceptual site plan to construct a 10,640 square foot commercial building for a Dollar General store. The staff has reviewed the conceptual site plan and has determined that the plan met the requirements for a conceptual review. The staff has recommended five (5) conditions.

The approval of the site plan is conceptual only. The applicant will be required to submit a Land Disturbance Permit prior to the start of any construction. Additionally, any significant changes as determined by staff to the approved conceptual plan would warrant a further review by the Planning and Zoning Commission.

Recommended Conditions:

Should the Planning and Zoning Commission decide to approve the conceptual site plan, the staff recommends the approval be subject to the conditions listed below. The applicant's agreement to these conditions would not change staff recommendations. These conditions shall prevail unless otherwise stipulated by the Planning and Zoning Commission.

1. To the site plan submitted to the Department of Community Development dated received October 27, 2021. Said site plan is conceptual only and must meet or exceed the requirements of the City's regulations and ordinances prior to the approval of a Land Disturbance Permit. Unless otherwise noted herein, compliance with all conditions shall be in place prior to the issuance of a Certificate of Occupancy. Any major deviation from this site plan is subject to approval by the Planning and Zoning Director or designee.
2. Prior to construction, the city shall be provided with copies of the approved agreements/easements between all involved parties/owners for the driveway; inter-parcel access ways, and sidewalks. All plans for road improvements shall be submitted, reviewed, and approved by the City Engineer and GDOT, if applicable; and appropriate permits issued prior to construction and authorization.
3. A 100-foot undisturbed vegetated buffer shall be installed adjacent to the property developed as a residential use to create a visual obstruction. A combination of existing trees and newly planted trees (where insufficient vegetation exists) shall be installed to establish a dense buffer. New trees shall be 8'-10' in height at the time of installation. Newly planted trees shall consist of one or a combination of the following trees: Leyland Cypress, Easter Red Cedar, Southern Magnolia, Virginia Pine, Arborvitae, Savannah Holly, Nellie R. Stevens Holly.
4. Devices for storage of items available for immediate sale [e.g., ice freezer, propane tanks) shall abut the building in such a manner that a five (5) foot pedestrian path is maintained around such items.
5. The Developer shall conduct a traffic study and submit the study to the Community Development Department prior to the issuance of the land disturbance permit.

Attachments:

Conceptual Site Plan
Building Elevations

PROTOTYPE: 10,640 - C+	DEVELOPER	DESIGNER		DATE:
DWG/SALES SF: 10,640/8,526	COMPANY: SULLIVAN-WICKLEY	COMPANY: ROCHESTER & ASSOC.	ADDRESS 1: 425 OAK ST, NW	10/27/21
CREAGE: 2.95	NAME: BRIAN SULLIVAN	NAME: ALLEN MARGAVICH, PE	ADDRESS 2: GAINESVILLE, GA	
PARKING SPACES: 45	PHONE #: (404) 475-9000	PHONE #: (770) 718-0600	FAX: (770) 718-0551	

DATE:

10/27/21

ADDRESS 1: 425 OAK ST. NW

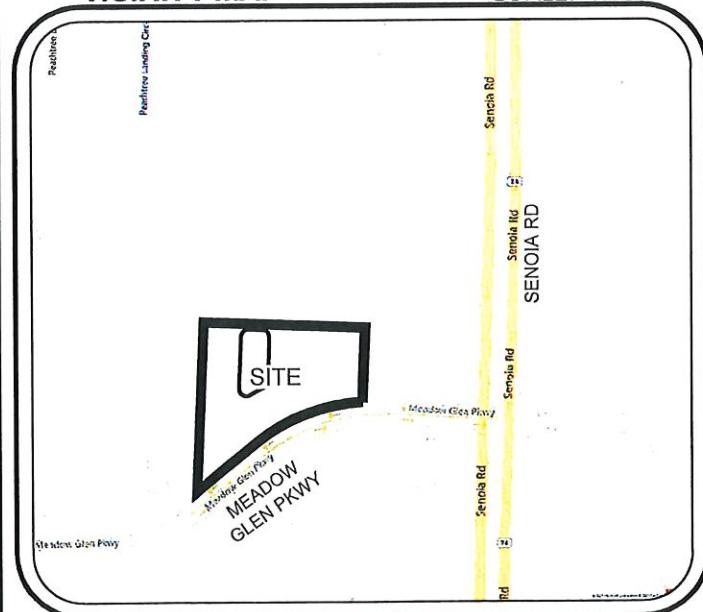
ADDRESS 2: GAINESVILLE, GA

FAX:	(770) 718-0551
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NOTES:

1. ZONING: EXISTING PD
LOCATED IN HIGHWAY 74 OVERLAY DISTRICT
FRONT SETBACK = 50'
SIDE SETBACK = 20'
REAR SETBACK = 30' (VARIANCE TO 20' REQUESTED)
LANDSCAPE STRIP = 10'
PROPERTY BUFFER = 100'
2. PARKING SPACES REQUIRED:
(1 PER 200 SF OF SALES FLOOR AREA) 43
(1 PER 1,000 SF OF AREA FOR STORAGE,
ASSEMBLY, WAREHOUSING, OR OTHER PURPOSE) 2
(2 HANDICAP PARKING SPACES PROVIDED)
PARKING SPACES PROVIDED: 45
3. EXISTING FEATURES SHOWN ARE APPROXIMATED
BASED ON AERIAL PHOTOS.
4. NO BOUNDARY SURVEY HAS BEEN CONDUCTED.
BEARINGS & DISTANCES SHOWN ARE BASED ON
PARCEL INFORMATION PROVIDED BY THE CLIENT.
5. STORM SEWER WILL BE DETAINED USING STORMWATER
MANAGEMENT POND.
6. WATER AND SEWER PROVIDED BY CITY OF FAIRBURN
7. PROPOSED IMPERVIOUS SURFACE: 1.1 ACRES
(48,000 SF)
8. TOTAL DISTURBED AREA = 1.80 AC
9. THIS PROPERTY IS NOT LOCATED IN A FLOOD
HAZARD OR FUTURE FLOODPLAIN AS PER F.E.M.A.
FLOOD INSURANCE RATE MAP OF FULTON COUNTY,
GEORGIA. COMMUNITY PANEL NO. 13121C0462F,
EFFECTIVE 9/18/2013.
10. NO EXISTING MAN-MADE FEATURES PRESENT ON SITE

SCALE: NTS



SCALE: 1" = 50'

A horizontal scale bar with alternating black and white segments. The segments are labeled 0', 25', 50', and 100' at the bottom. The bar is divided into four equal segments, each representing 25 feet.

DOLLAR GENERAL
SOUTH FAIRBURN

RECEIVED

OCT 27 2021

Initiaak

ZONED
PD

S02° 02' 23.56" W
200.271

— ACCESS EASEMENT
(HATCHED AREA)

MEADOW GLEN PKWY

30th ROW

ZONED
PD

FIRE NOTES:

1. PROPOSED BUILDING SHALL BE PROTECTED BY AN APPROVED SUPERVISED AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH THE CURRENT STATE OF GEORGIA ADOPTED EDITIONS OF NFPA 13.
2. POST INDICATOR VALVES (PIV) AND FIRE DEPARTMENT CONNECTIONS (FDC) SHALL BE LOCATED AT OR NEAR THE MAIN ENTRY TO THE SITE BUT NO CLOSER THAN ONE AND ONE-HALF TIMES THE HEIGHT OF THE BUILDING UNLESS THE LOCATION OF THE PROPERTY, TOPOGRAPHY, NONNEGOTIABLE GRADE, WATERWAYS OR OTHER SIMILAR CONDITIONS PREVENT SUCH LOCATION. ALL FIRE DEPARTMENT CONNECTIONS SHALL BE WITHIN 100 FEET OF A FIRE HYDRANT. APPROPRIATE SIGNAGE SHALL BE PROVIDED TO DESIGNATE PIV AND FDC CONNECTIONS.
3. ELECTRONICALLY SUPERVISED MONITORING, AND ALL FIRE ALARM SYSTEMS INSTALLED IN COMMERCIAL BUILDINGS SHALL BE SUPERVISED AT ALL TIMES. THE FIRE ALARM SYSTEM SHALL BE REQUIRED TO INCLUDE THE INSTALLATION OF HORNS AND STROBES.
4. NO PIPE SMALLER THAN A NOMINAL 8 INCHES (203 MM) IN DIAMETER SHALL BE USED TO SUPPLY ONE HYDRANT AND AUTOMATIC EXTINGUISHING SYSTEMS.
5. NO PIPE SMALLER THAN A NOMINAL 8 INCHES (203 MM) IN DIAMETER SHALL BE USED TO SUPPLY MORE THAN ONE HYDRANT AND AUTOMATIC EXTINGUISHING SYSTEMS ON LOOPED MAINS OVER 1,000 FEET (305 M).

CONCEPTUAL SITE PLAN

COUNTY, STATE - STREET:
FULTON COUNTY, GA - MEADOW GLEN PARKWAY

PROTOTYPE: 10,640 - C+	DEVELOPER	DESIGNER	DATE:
BLDG/SALES SF: 10,640/8,526	COMPANY: SULLIVAN-WICKLEY	COMPANY: ROCHESTER & ASSOC.	10/27/21
ACREAGE: 2.95	NAME: BRIAN SULLIVAN	NAME: ALLEN MARGAVICH, PE	
PARKING SPACES: 45	PHONE #: (404) 475-9000	PHONE #: (770) 718-0600	FAX: (770) 718-0551

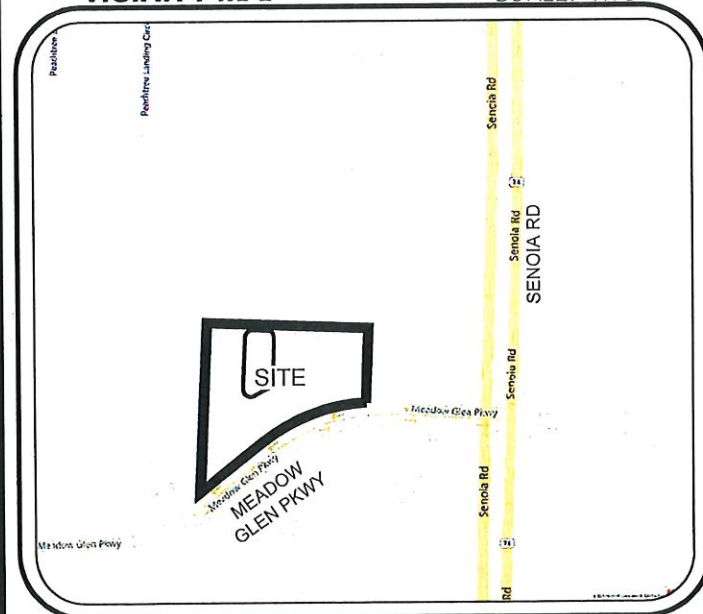
NOTES:

- ZONING:** EXISTING PD
LOCATED IN HIGHWAY 74 OVERLAY DISTRICT
FRONT SETBACK = 50'
SIDE SETBACK = 20'
REAR SETBACK = 30' (VARIANCE TO 20' REQUESTED)
LANDSCAPE STRIP = 10'
PROPERTY BUFFER = 100'
- PARKING SPACES REQUIRED:**
(1 PER 200 SF OF SALES FLOOR AREA) 43
(1 PER 1,000 SF OF AREA FOR STORAGE, ASSEMBLY, WAREHOUSING, OR OTHER PURPOSE) 2
(2 HANDICAP PARKING SPACES PROVIDED)
PARKING SPACES PROVIDED: 45
- EXISTING FEATURES SHOWN ARE APPROXIMATED BASED ON AERIAL PHOTOS.
- NO BOUNDARY SURVEY HAS BEEN CONDUCTED. BEARINGS & DISTANCES SHOWN ARE BASED ON PARCEL INFORMATION PROVIDED BY THE CLIENT.
- STORM SEWER WILL BE DETAINED USING STORMWATER MANAGEMENT POND.
- WATER AND SEWER PROVIDED BY CITY OF FAIRBURN
- PROPOSED IMPERVIOUS SURFACE: 1.1 ACRES (48,000 SF)
- TOTAL DISTURBED AREA = 1.80 AC
- THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD OR FUTURE FLOODPLAIN AS PER F.E.M.A. FLOOD INSURANCE RATE MAP OF FULTON COUNTY, GEORGIA. COMMUNITY PANEL NO. 13121C0462F, EFFECTIVE 9/18/2013.
- NO EXISTING MAN-MADE FEATURES PRESENT ON SITE

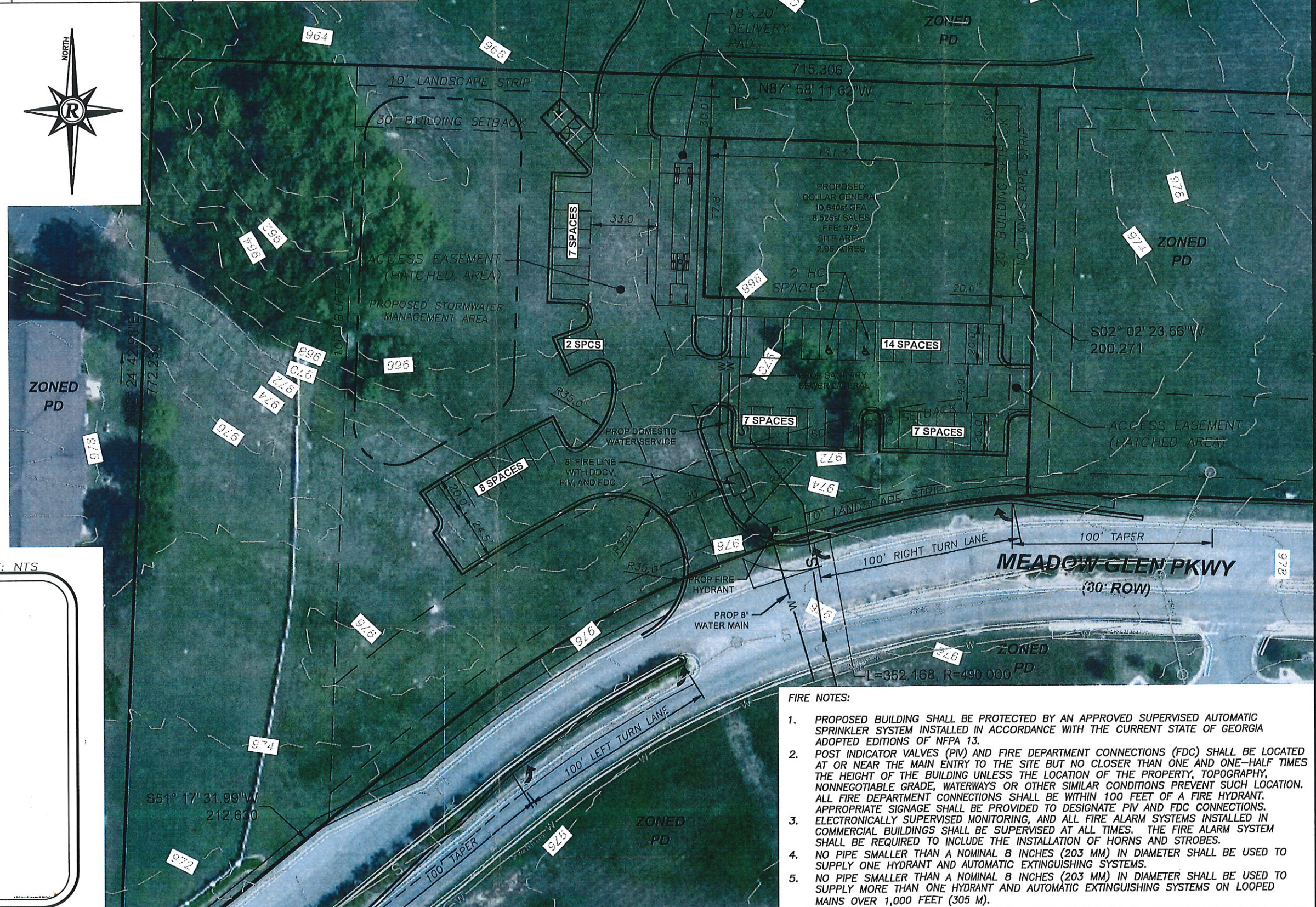


VICINITY MAP

SCALE: NTS



DOLLAR GENERAL
SOUTH FAIRBURN



FIRE NOTES:

- PROPOSED BUILDING SHALL BE PROTECTED BY AN APPROVED SUPERVISED AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH THE CURRENT STATE OF GEORGIA ADOPTED EDITIONS OF NFPA 13.
- POST INDICATOR VALVES (PIV) AND FIRE DEPARTMENT CONNECTIONS (FDC) SHALL BE LOCATED AT OR NEAR THE MAIN ENTRY TO THE SITE BUT NO CLOSER THAN ONE AND ONE-HALF TIMES THE HEIGHT OF THE BUILDING UNLESS THE LOCATION OF THE PROPERTY, TOPOGRAPHY, NONNEGOTIABLE GRADE, WATERWAYS OR OTHER SIMILAR CONDITIONS PREVENT SUCH LOCATION. ALL FIRE DEPARTMENT CONNECTIONS SHALL BE WITHIN 100 FEET OF A FIRE HYDRANT. APPROPRIATE SIGNAGE SHALL BE PROVIDED TO DESIGNATE PIV AND FDC CONNECTIONS.
- ELECTRONICALLY SUPERVISED MONITORING, AND ALL FIRE ALARM SYSTEMS INSTALLED IN COMMERCIAL BUILDINGS SHALL BE SUPERVISED AT ALL TIMES. THE FIRE ALARM SYSTEM SHALL BE REQUIRED TO INCLUDE THE INSTALLATION OF HORNS AND STROBES.
- NO PIPE SMALLER THAN A NOMINAL 8 INCHES (203 MM) IN DIAMETER SHALL BE USED TO SUPPLY ONE HYDRANT AND AUTOMATIC EXTINGUISHING SYSTEMS.
- NO PIPE SMALLER THAN A NOMINAL 8 INCHES (203 MM) IN DIAMETER SHALL BE USED TO SUPPLY MORE THAN ONE HYDRANT AND AUTOMATIC EXTINGUISHING SYSTEMS ON LOOPED MAINS OVER 1,000 FEET (305 M).

**DOLLAR
GENERAL**

**DOLLAR
GENERAL**



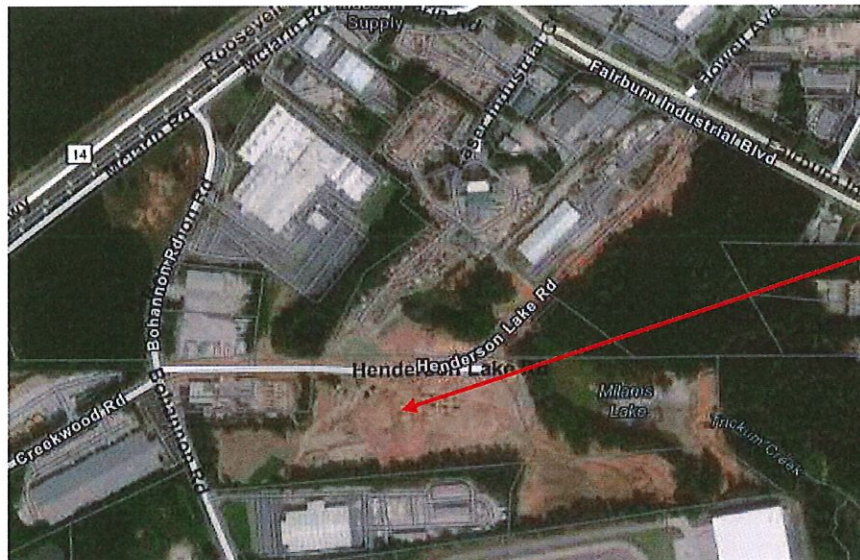
**CITY OF FAIRBURN
PLANNING AND ZONING COMMISSION
AGENDA ITEM**

Date: November 2, 2021
To: Planning and Zoning Commission
From: Tarika Peeks, Director of Planning Zoning
Agenda Item: **Conceptual Site Plan 2021144** – Fairburn DC Howell Avenue: A request to review the conceptual site plan for an 82,508 square-foot warehouse development on Howell Avenue.

BACKGROUND: The subject property is located at 92 Howell Avenue, which is the newly constructed extension of Howell Avenue. The site is approximately 5.22 acres and zoned M-2 (Heavy Industrial).

DISCUSSION: The applicant is proposing to construct an 82,508 square foot warehouse with associated driveways, parking, utilities, and landscaping. The applicant will be required to meet all parking regulations. The site has two proposed ingress/egress along Howell Avenue. Stormwater management is proposed by a regional detention system.

AERIAL VIEW OF THE SUBJECT PROPERTY:



Parcel ID # 09F070000271062
92 Howell Avenue
M-2 (Heavy Industrial)
5.222 acres

STAFF RECOMMENDATION: APPROVAL CONDITIONAL of the conceptual site plan to construct an 81,983 square-foot warehouse. The staff has reviewed the conceptual site plan and has determined that the plan met the requirements for a conceptual review. The staff has recommended two (2) conditions.

The approval of the site plan is conceptual only. The applicant will be required to submit a Land Disturbance Permit prior to the start of any construction. Additionally, any significant changes as determined by staff to the approved conceptual plan would warrant a further review by the Planning and Zoning Commission.

Recommended Conditions:

Should the Planning and Zoning Commission decide to approve the conceptual site plan, the staff recommends the approval be subject to the conditions listed below. The applicant's agreement to these conditions would not change staff recommendations. These conditions shall prevail unless otherwise stipulated by the Planning and Zoning Commission.

1. To the site plan submitted to the Department of Community Development dated received October 8, 2021. Said site plan is conceptual only and must meet or exceed the requirements of the City's regulations and ordinances prior to the approval of a Land Disturbance Permit. Unless otherwise noted herein, compliance with all conditions shall be in place prior to the issuance of a Certificate of Occupancy. Any major deviation from this site plan is subject to approval by the Planning and Zoning Director or designee.
2. Prior to construction, the city shall be provided with copies of the approved agreements/easements between all involved parties/owners for the driveway; inter-parcel access ways, and sidewalks. All plans for road improvements shall be submitted, reviewed, and approved by the City Engineer and GDOT, if applicable; and appropriate permits issued prior to construction and authorization.

Attachments:

Conceptual Site Plan
Building Elevations

RECEIVED

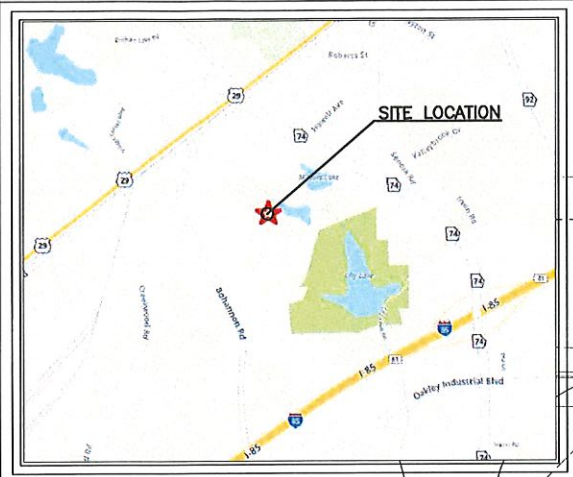
OCT 08 2021

Initial: JP

PROJECT INFORMATION:
PROJECT ADDRESS:
92 HOWELL AVENUE
FAIRBURN, GA. 30213

ZONING: M2 (HEAVY INDUSTRIAL DISTRICT)
PARCEL 09F-0800-0031-058-8
CITY OF FAIRBURN, GEORGIA

TOTAL PROJECT SITE: 5.22 ACRES
TOTAL ONSITE DISTURBED AREA = 5.86 ACRES



LOCATION MAP

BUILDING SETBACK REQUIREMENTS		
FRONT	SIDE	REAR
40'	20'	30'

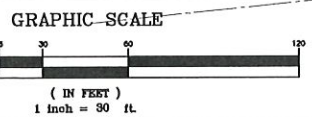
SITE INFORMATION
PARCEL 2 AREA 5.22+/- ACRES
ZONING: M2 HEAVY INDUSTRIAL DISTRICT
DEDICATED RIGHT OF WAY 5426.2127 SF = 0.125 ACRES
5.22 AC X 20 UNITS / AC = 104.4 TREES UNITS
104.4 UNITS X 7 SHRUBS = 731 SHRUB UNITS
DISTURBED AREA = 5.86 ACRES
IMPERVIOUS AREA = 4.135 ACRES (79.2%)

LOT COVERAGE: BLDG. = 81,983.00 / LOT = 227,383.2 (X 100) = 36%

PARKING
LARGEST SHIFT: 25
74,000 SF STORAGE AREA / 2000 = 37
2000 SF OFFICE / 100 = 20 SPACES
NUMBER OF SPACES FOR VEHICLES DIRECTLY USED IN BUSINESS = 0
TOTAL 82
ADMIN VARIANCE 10%
NET 74 (REQUIRED AND PROVIDED)

OFF STREET LOADING SPACES
INDUSTRIAL USES: 1 SPACE FOR THE FIRST 25,000 SF - 83,000 / 25,000 = 3.32 SPACES
PLUS 25,000 TO 90,000 SF A TOTAL OF 2 SPACES
TOTAL OFF STREET LOADING SPACES PROVIDED = 6 SPACES

- GENERAL NOTES**
1. LINEAR DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS NOTED.
 2. RADIUS DIMENSIONS ARE TO BACK OF CURB.
 3. IN CASE OF DISCREPANCIES BETWEEN DRAWINGS AND DIMENSIONS, DIMENSIONS SHALL GOVERN. CONTRACTOR TO DISCUSS ANY DISCREPANCIES WITH OWNER'S REPRESENTATIVE. DO NOT SCALE DRAWINGS.
 4. PAVING SHALL BE PER THE DETAILS INCLUDED ON SHEET C-XX
 5. CURB AND GUTTER TO BE 24" WIDE, GDOT STD 9032B, 6" TALL VERTICAL TP2 FACE. FACE OF CURB NOT SHOWN IN THESE PLANS. WHERE PAVEMENT SLOPES AWAY FROM CURB AND GUTTER, GUTTER SHALL BE SPILL TYPE.
 6. SIDEWALKS AND RAMPS TO BE CONSTRUCTED PER GDOT DETAIL A-3, CROSSWALKS PER GDOT STD. T11A
 7. CONTRACTOR IS RESPONSIBLE FOR OBTAINING CURRENT CONSTRUCTION DETAILS FROM CITY OF FAIRBURN AND GDOT FROM EACH RESPECTIVE AGENCY WEBSITE.
 8. ALL STRIPING ON R/W SHALL BE THERMOPLASTIC.
 9. CONTRACTOR RESPONSIBLE FOR TRAFFIC CONTROL THROUGHOUT THE PROJECT.
 10. IF UTILITIES ARE TO BE RELOCATED, CONTRACTOR RESPONSIBLE FOR COORDINATION WITH UTILITY COMPANIES FOR THE RELOCATION.
 11. CONTRACTOR SHALL NOTIFY CITY OF FAIRBURN PRIOR TO EACH PHASE OF CONSTRUCTION.



REVISIONS		
Δ	DATE	DESCRIPTION

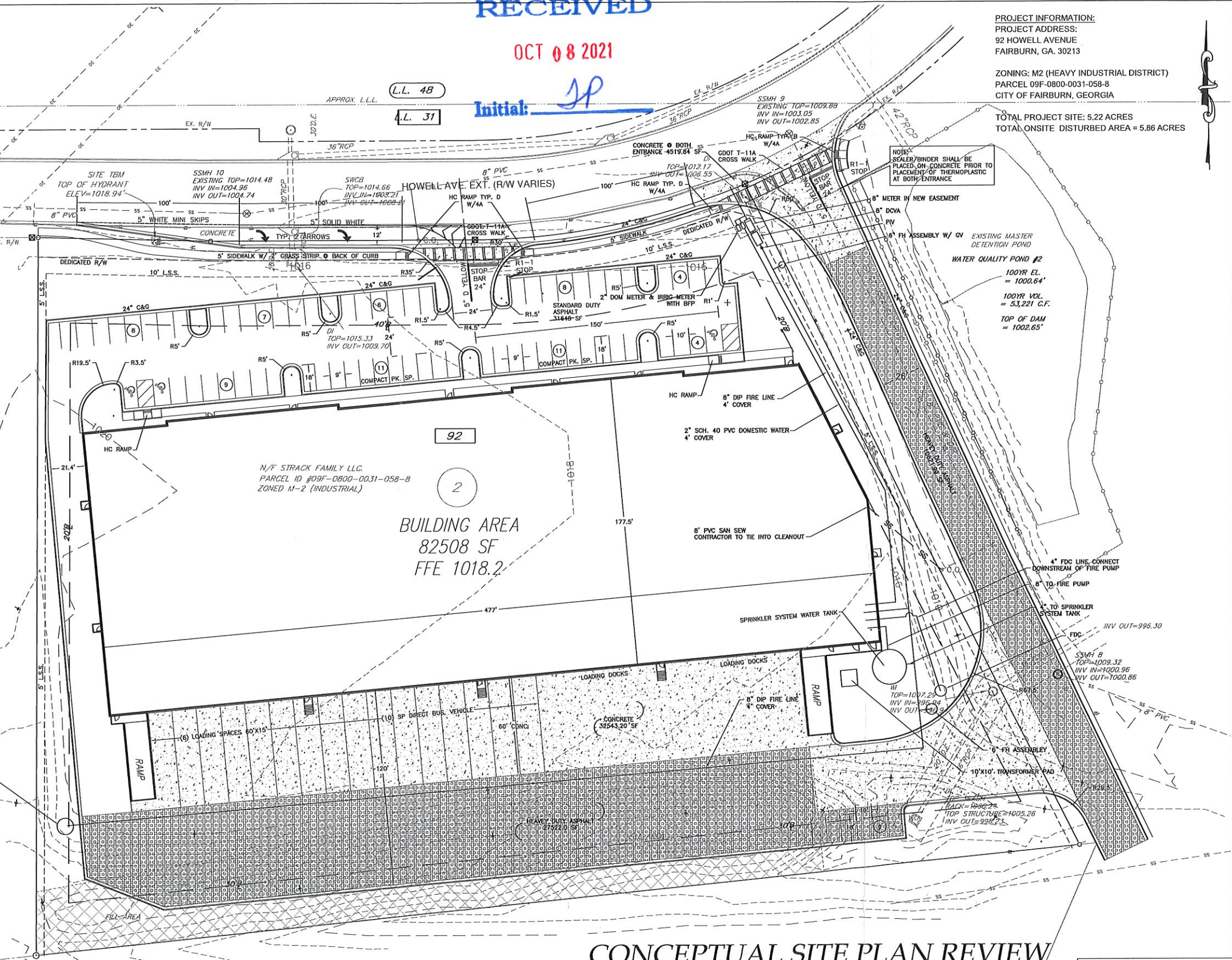
ATLAS
Atlas Technical Consultants, LLC
407 East Maple Street, Suite 107, Cumming, GA 30040
Telephone (770) 781-5507

DESIGNED BY	NAME	DATE
	WS	
CHECKED BY	EB	

Native Development Group

FAIRBURN DC - HOWELL AVENUE EXTENSION
SITE LAYOUT

DRAWING
NUMBER
C2.1



CONCEPTUAL SITE PLAN REVIEW
DATE 9/16/2021



1: FOR DATA CITY OF FAIRBURN, NATIVE DEV. GROUP, DESIGN MASTER NOS. 02.DWG, 10/8/2021 7:47 AM

FAIRBURN 100

FAIRBURN, GA

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Print Record

10 MAY 2021	DESIGN REVIEW
12 JULY 2021	DESIGN REVIEW
27 SEPTEMBER 2021	DESIGN REVIEW

Revisions

Issue Date	Job No.
09/27/2021	2101061 - FAIRBURN 100

Sheet Title

ENTRY VIEW

Sheet No. _____

A.200

NOT ISSUED FOR CONSTRUCTION



GLASS SCHEDULE

A 1" INSULATED INNER PANE 1/4" OUTER PANE 1/4" INNER PANE HEAT STRENGTHENED OUTER PANE HEAT STRENGTHENED FABRICATOR GUARDIAN GLASS STYLE SURIGUARD SN 68 COLOR GRAY-CLEAR	B 1" INSULATED INNER PANE 1/4" OUTER PANE 1/4" INNER PANE TEMPERED OUTER PANE TEMPERED FABRICATOR GUARDIAN GLASS STYLE SURIGUARD SN 68 COLOR GRAY-CLEAR	C 1" INSULATED INNER PANE 1/4" OUTER PANE 1/4" INNER PANE TEMPERED OUTER PANE TEMPERED FABRICATOR GUARDIAN GLASS STYLE SURIGUARD SN 68 WITH DECORIT GRAY-CLEAR
COATINGS LowE ON #2 SURFACE	COATINGS LowE ON #2 SURFACE	COATINGS LowE ON #2 SURFACE WITH #4 SURFACE BLACK SPANDREL
U-VALUE .29	U-VALUE .29	U-VALUE .
SHGC .25	SHGC .25	SHGC .

NOTE: PROJECTS LOCATED WITHIN A MILE OF THE COASTAL MEAN HIGH WATER LINE AND HAVE DESIGN WIND SPEEDS OVER 130 MPH ARE TO BE CONSIDERED WIND-BORNE DEBRIS REGIONS. PROVIDE IMPACT RATED GLASS IN WIND-BORNE DEBRIS REGIONS, G.C. TO CONFIRM.

EXTERIOR FINISH SCHEDULE

101 EXTERIOR TEXTURE COATING PAINTED CONCRETE SHERWIN WILLIAMS ULTRACRETE OR EQUAL COLOR TBD	102 EXTERIOR TEXTURE COATING PAINTED CONCRETE SHERWIN WILLIAMS ULTRACRETE OR EQUAL COLOR TBD	103 EXTERIOR TEXTURE COATING PAINTED CONCRETE SHERWIN WILLIAMS ULTRACRETE OR EQUAL COLOR TBD
104 PRE-FINISHED METAL GRAVEL STOP, GUTTER, COPING, AND DOWNSPOUTS COLOR PAC-CLAD - TBD	105 ALUMINUM STOREFRONT/CURTAIN WALL AS MANUFACTURED BY KAWNEER COLOR CLEAR ANODIZED	

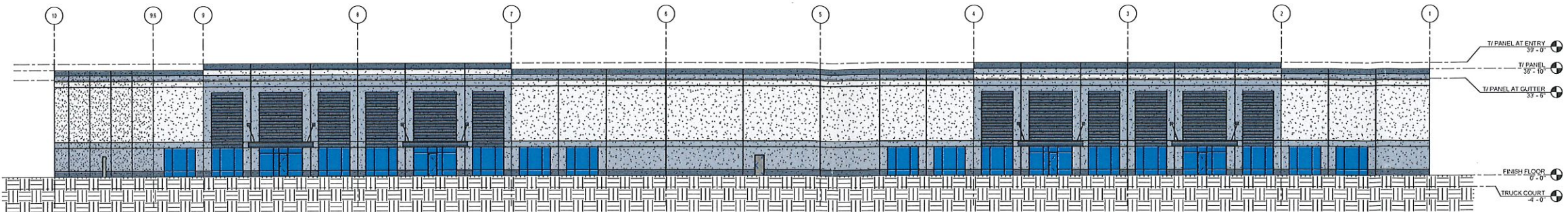
106 JOINT SEALER ALUM. STOREFRONT TREMCO DYMERIC 240FC OR EQUAL COLOR ANODIZED ALUMINUM	107 JOINT SEALER S.C.C.P. JOINTS TREMCO DYMERIC 240FC OR EQUAL COLOR TBD	108 EXPOSED METAL DOORS & FRAMES COLOR PAINTED TO MATCH 102
109 PRE-ENGINEERED METAL CANOPY COLOR TBD	110 PRE-ENGINEERED ALUMINUM SUNSHADE COLOR PAC-CLAD - TBD	111 PRE-ENGINEERED BULLNOSE CANOPY COLOR PAC-CLAD - TBD

GENERAL NOTES

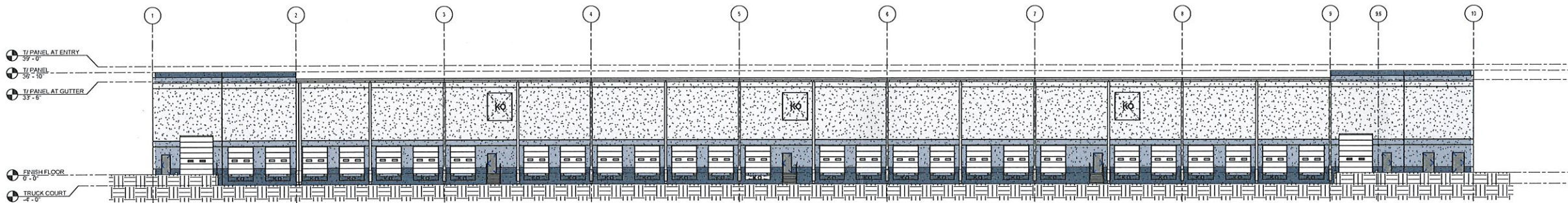
- ALL GLASS TO BE TYPE "A" U.N.O. ALL GLASS IN DOORS TO BE TEMPERED.
- ALL GLASS WITHIN 12" OF DOOR SWING TO BE TEMPERED.
- KAWNEER TRAFAB 451 BASIS OF DESIGN FOR STOREFRONT.
- STOREFRONT SYSTEMS TO BE DESIGNED TO MEET ALL LOCAL AND DESIGN LOADS. SEE STRUCTURAL DRAWINGS FOR DESIGN LOAD REQUIREMENTS.
- EXTERIOR WALL PACKS ARE INCLUDED - SEE ELECTRICAL DRAWINGS FOR LOCATIONS.
- REVEALS SHALL WRAP EXPOSED PANEL EDGES AND EXPOSED BACK SIDES U.N.O.

KEYNOTES

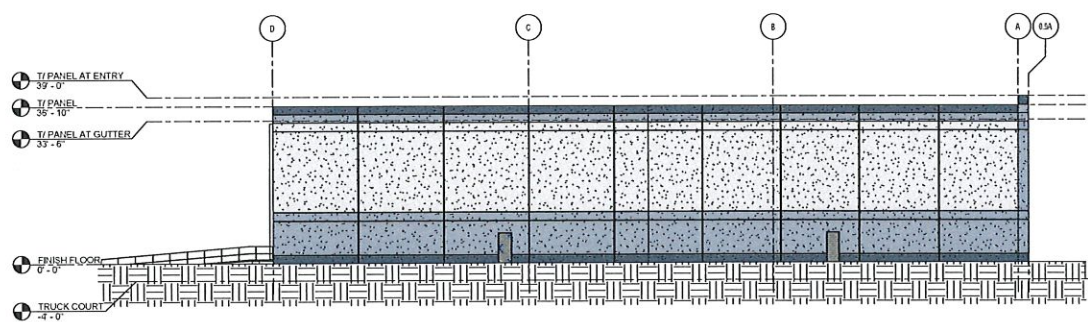
- E1** CONCRETE SERVICE RAMP, SEE 12A-401
- E2** STAR AND GUARDRAIL, TYP. SEE 6A-401, 8A-401, 10A-401
- E3** DOCK BUMPER - SEE WALL SECTIONS
- E4** PIPE DOWNSPOUTS THRU RAMP TO TRUCK COURT. PROVIDE BRD SCREEN AT RAMP WALL.
- E5** LOUVER - SEE MECHANICAL DRAWINGS
- E6** LED WALL PACK - SEE ELECTRICAL DRAWINGS



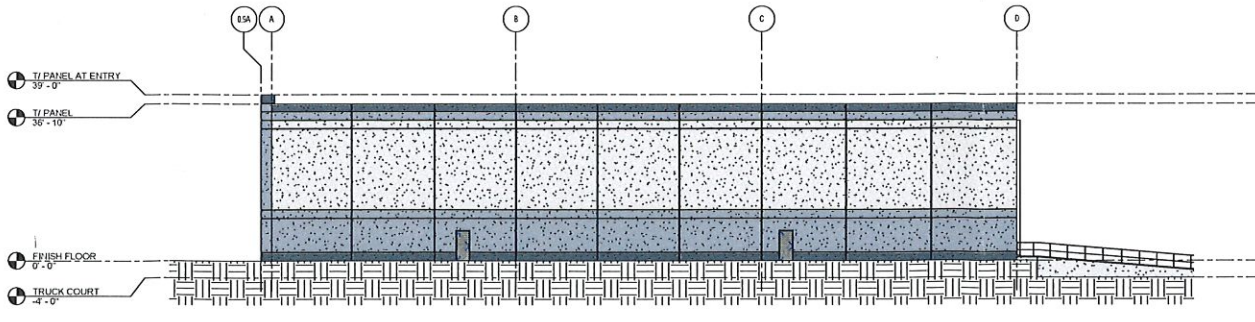
1 OVERALL NORTH ELEVATION
SCALE 1/16" = 1'-0"



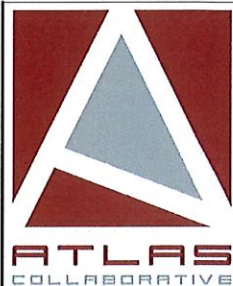
2 OVERALL SOUTH ELEVATION
SCALE 1/16" = 1'-0"



4 OVERALL EAST ELEVATION
SCALE 1/16" = 1'-0"



3 OVERALL WEST ELEVATION
SCALE 1/16" = 1'-0"



FAIRBURN 100

FAIRBURN, GA

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Print Record

10 MAY 2021	DESIGN REVIEW
12 JULY 2021	DESIGN REVIEW
27 SEPTEMBER 2021	DESIGN REVIEW

Revisions

Issue Date	Job No.
09/27/2021	2101051 - FAIRBURN 100

Sheet Title

EXTERIOR ELEVATIONS

Sheet No.

A.201

NOT ISSUED FOR CONSTRUCTION

**CITY OF FAIRBURN
PLANNING AND ZONING COMMISSION
AGENDA ITEM**

Date: November 2, 2021

To: Planning and Zoning Commission

From: Tarika Peeks, Director of Planning Zoning

Agenda Item: **Conceptual Site Plan 2021055 - Copart:** A request to review the conceptual site plan for a temporary parking facility development on Roosevelt Highway (Highway 29).

BACKGROUND: The subject property is located at 6737 Roosevelt Highway, approximately 0.16 miles from Johns River Road. The site is approximately 34.8 acres and zoned M-2 (Heavy Industrial).

DISCUSSION: The applicant is proposing to construct a parking facility with 142 parking spaces to temporarily hold vehicles while titles are cleared and during the brokerage of the sale. The site will have one ingress/egress along Roosevelt Highway. The development of the subject property will consist of the installation of parking spaces, utilities, and landscaping. A 50-foot undisturbed vegetated buffer is required adjacent to residentially zoned and used properties. Stormwater management is proposed by an onsite detention system.

AERIAL VIEW OF THE SUBJECT PROPERTY:



Parcel ID # 07280101670548
6737 Roosevelt Highway
M-2 (Heavy Industrial)
34.8 acres

STAFF RECOMMENDATION: APPROVAL CONDITIONAL of the conceptual site plan to construct a temporary parking facility for vehicles with 142 parking spaces. The staff has reviewed the conceptual site plan and has determined that the plan met the requirements for a conceptual review. The staff has recommended three (3) conditions.

The approval of the site plan is conceptual only. The applicant will be required to submit a Land Disturbance Permit prior to the start of any construction. Additionally, any significant changes as determined by staff to the approved conceptual plan would warrant a further review by the Planning and Zoning Commission.

Recommended Conditions:

Should the Planning and Zoning Commission decide to approve the conceptual site plan, the staff recommends the approval be subject to the conditions listed below. The applicant's agreement to these conditions would not change staff recommendations. These conditions shall prevail unless otherwise stipulated by the Planning and Zoning Commission.

1. To the site plan submitted to the Department of Community Development dated received October 6, 2021. Said site plan is conceptual only and must meet or exceed the requirements of the City's regulations and ordinances prior to the approval of a Land Disturbance Permit. Unless otherwise noted herein, compliance with all conditions shall be in place prior to the issuance of a Certificate of Occupancy. Any major deviation from this site plan is subject to approval by the Planning and Zoning Director or designee.
2. Prior to construction, the city shall be provided with copies of the approved agreements/easements between all involved parties/owners for the driveway; inter-parcel access ways, and sidewalks. All plans for road improvements shall be submitted, reviewed, and approved by the City Engineer and GDOT, if applicable; and appropriate permits issued prior to construction and authorization.
3. A 50-foot undisturbed vegetated buffer shall be installed adjacent to residentially used and zoned properties to create a visual obstruction. A combination of existing trees and newly planted trees (where insufficient vegetation exists) shall be installed to establish a dense buffer. New trees shall be 8'-10' in height at the time of installation. Newly planted trees shall consist of one or a combination of the following trees: Leyland Cypress, Eastern Red Cedar, Southern Magnolia, Virginia Pine, Arborvitae, Savannah Holly, Nellie R. Stevens Holly.

Attachments:

Conceptual Site Plan

Initial: SP



LEAD Project Number
102-20-501

Seal

[illegible]

Project Name
COPART - FAIRBURN
COPART, INC.
573737 ROOSEVELT HIGHWAY, FAIRBURN GEORGIA

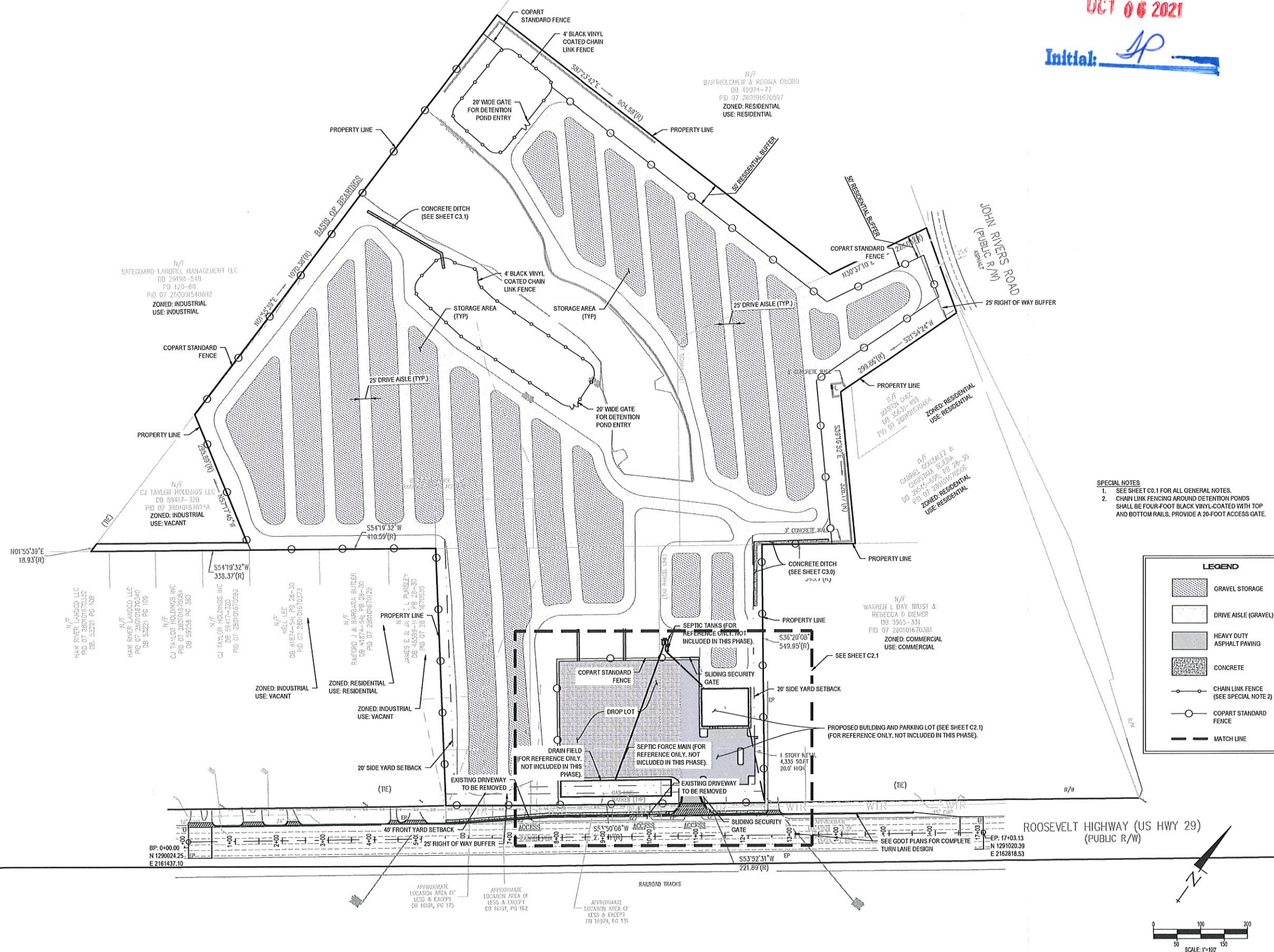
Sheet Title

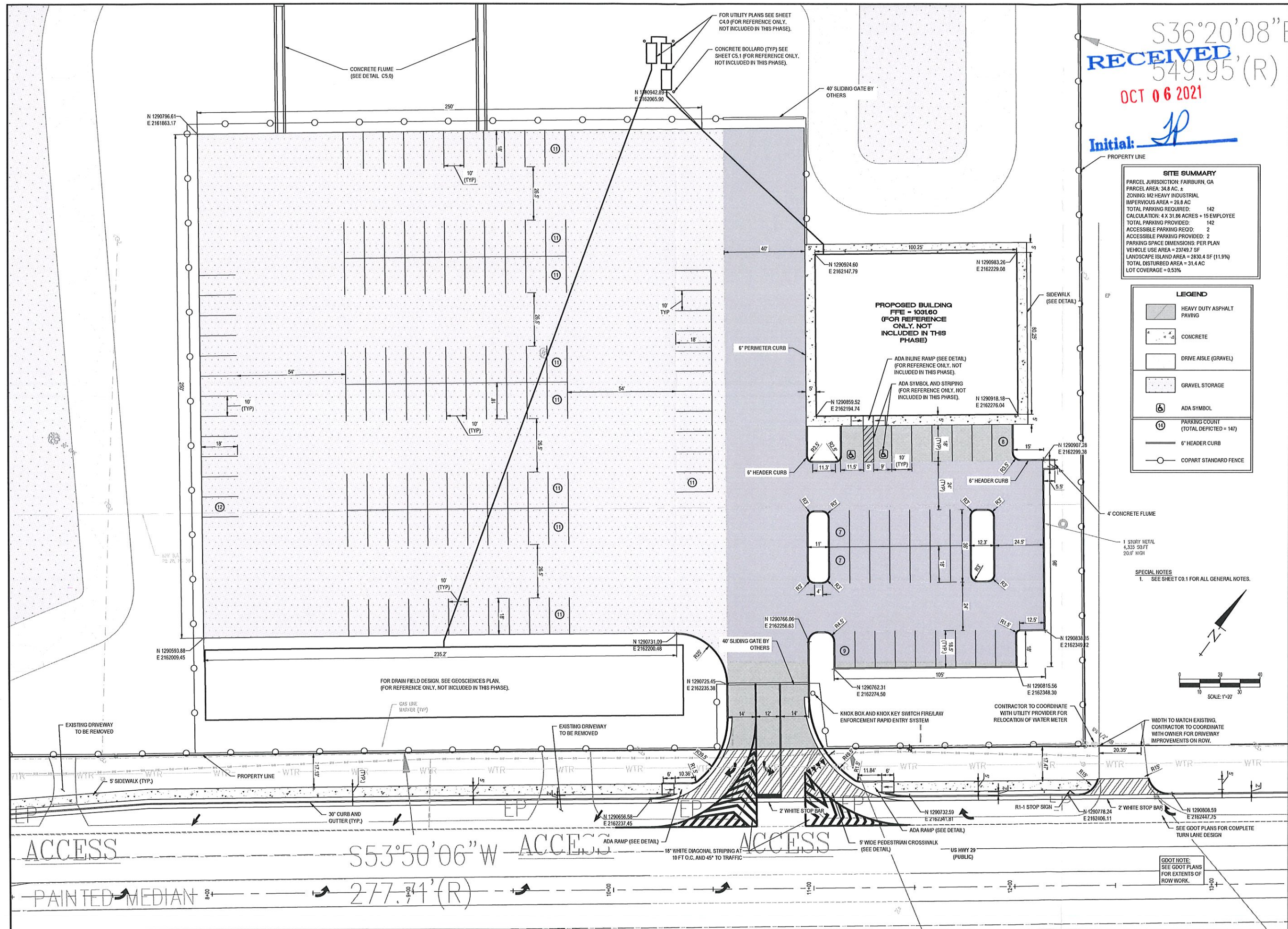
OVERALL SITE LAYOUT
PLAN

Data 2/11/2021

Checked By DEM	Drawn By FWH
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Sheet Number	Sequence
C2.0	5
	Total
	29



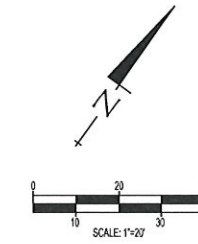


S36°20'08" E
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549.95'(R)
OCT 06 2021
Initial: *JP*

SITE SUMMARY
PARCEL JURISDICTION: FAIRBURN, GA
PARCEL AREA: 34.8 AC. ±
ZONING: M2 HEAVY INDUSTRIAL
IMPERVIOUS AREA = 28.8 AC
TOTAL PARKING REQUIRED: 142
CALCULATION: 4 X 31.98 ACRES + 15 EMPLOYEE
TOTAL PARKING PROVIDED: 142
ACCESSIBLE PARKING REQ'D: 2
PARKING SPACE DIMENSIONS: PER PLAN
VEHICLE USE AREA = 23749.7 SF
LANDSCAPE ISLAND AREA = 2830.4 SF (11.9%)
TOTAL DISTURBED AREA = 31.4 AC
LOT COVERAGE = 0.53%

- LEGEND**
- HEAVY DUTY ASPHALT PAVING
 - CONCRETE
 - DRIVE AISLE (GRAVEL)
 - GRAVEL STORAGE
 - ADA SYMBOL
 - PARKING COUNTRY (TOTAL DEPICTED = 147)
 - 6" HEADER CURB
 - COPART STANDARD FENCE

SPECIAL NOTES
1. SEE SHEET C0.1 FOR ALL GENERAL NOTES.



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LBYD Project Number
102-20-501

Date	Revision

COPART - FAIRBURN
COPART, INC.
6737 ROOSEVELT HIGHWAY, FAIRBURN GEORGIA

Sheet Title
SITE LAYOUT PLAN

Date
2/11/2021

Checked By DEM	Drawn By FWH
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Sheet Number C2.1	Sequence 6
Total 29	

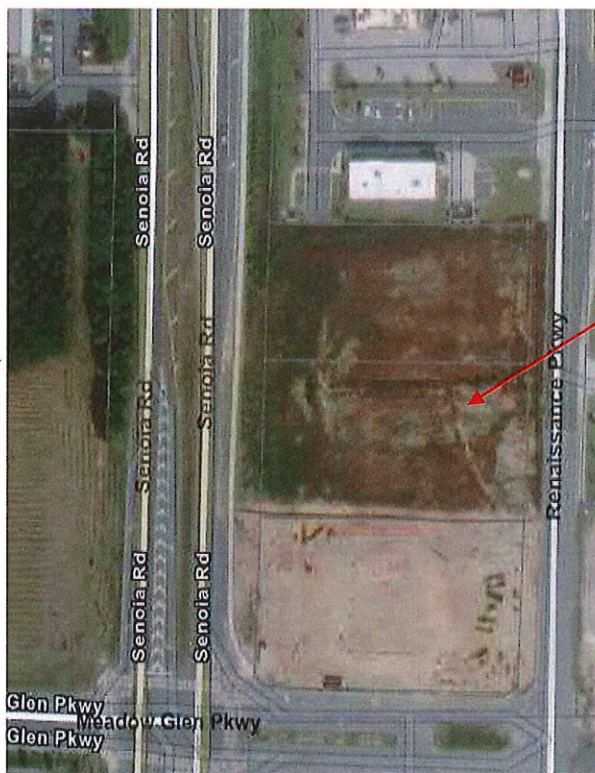
**CITY OF FAIRBURN
PLANNING AND ZONING COMMISSION
AGENDA ITEM**

Date: November 2, 2021
To: Planning and Zoning Commission
From: Tarika Peeks, Director of Planning Zoning
Agenda Item: **Conceptual Site Plan 2021141 - Fairburn Station:** A request to review the conceptual site plan for a 7,350 square foot multi-tenant retail commercial development on Senoia Road/Highway 74.

BACKGROUND: The subject property is located on the southeast side of Senoia Road [8026 Senoia Road] and adjacent to Renaissance Parkway. The site is approximately 1.067 acres. The property is zoned C-2 (General Commercial) and is in the Highway 74 Overlay District.

DISCUSSION: The applicant is proposing to construct a 7,350 square-foot multi-tenant retail commercial development with associated driveways, parking, utilities, and landscaping. The proposed development will consist of a sit-down restaurant (4,340 SF) and retail shops (3,010SF). The site has proposed ingress/egress along Renaissance Parkway and inter parcel access to the adjacent lot. Stormwater management is proposed by a regional detention system. The building will be required to have an all brick front facade and majority brick or stone on the side and rear building elevations, as regulated by the Highway 74 Overlay District.

AERIAL VIEW OF THE SUBJECT PROPERTY:



Parcel ID # 09F070300260443
8026 Senoia Road
C-2 (General Commercial)
1.067 acres

STAFF RECOMMENDATION: APPROVAL CONDITIONAL of the conceptual site plan to construct a 7,350 square foot multi-tenant retail commercial development. The staff has reviewed the proposed conceptual site plan and the plan has met the requirements for a conceptual review. The staff has recommended two (2) conditions.

The approval of the site plan is conceptual only. The applicant will be required to submit a Land Disturbance Permit prior to the start of any construction. Additionally, any significant changes as determined by staff to the approved conceptual plan would warrant a further review by the Planning and Zoning Commission.

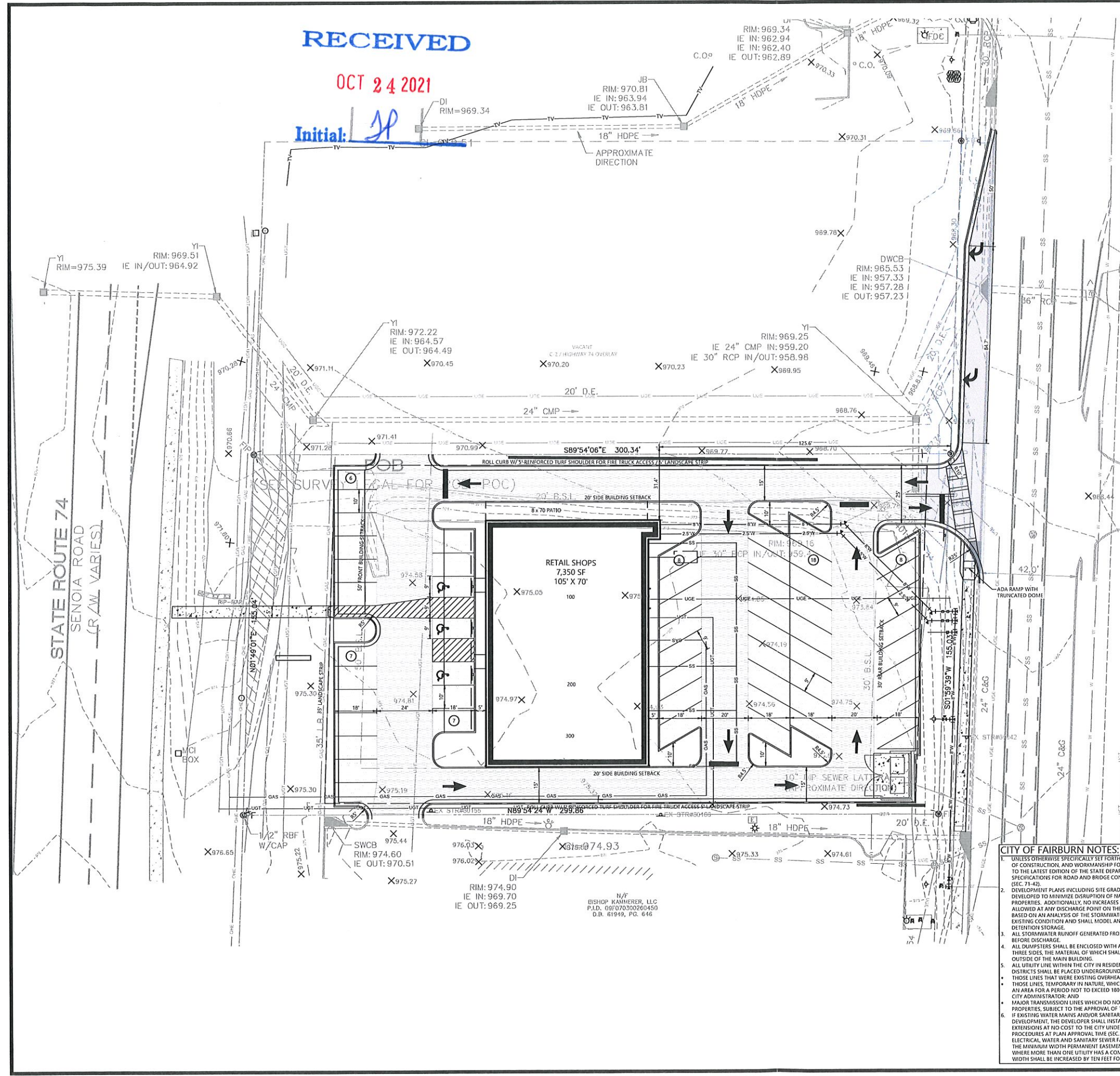
Recommended Conditions:

Should the Planning and Zoning Commission decide to approve the conceptual site plan, the staff recommends the approval be subject to the following conditions. The applicant's agreement to these conditions would not change staff recommendations. These conditions shall prevail unless otherwise stipulated by the Planning and Zoning Commission.

1. To the site plan submitted to the Department of Community Development dated received October 24, 2021. Said site plan is conceptual only and must meet or exceed the requirements of the City's regulations and ordinances prior to the approval of a Land Disturbance Permit. Unless otherwise noted herein, compliance with all conditions shall be in place prior to the issuance of a Certificate of Occupancy. Any major deviation from this site plan is subject to approval by the Planning and Zoning Director or designee.
2. Prior to construction, the city shall be provided with copies of the approved agreements/easements between all involved parties/owners for the driveway; inter-parcel access ways, and sidewalks. All plans for road improvements shall be submitted, reviewed, and approved by the City Engineer and GDOT, if applicable; and appropriate permits issued prior to construction and authorization.

Attachments:






































Conceptual Site Plan
Building Elevations



VICINITY MAP

NT:

SITE LEGEND

- | | | | |
|---|---|---|---------------------------|
|  | EXISTING PROPERTY LINE |  | PARKING SPACE COUNT |
|  | EXISTING RIGHT-OF-WAY |  | SIGN |
|  | EXISTING SETBACK LINE |  | LIGHT POLE |
|  | PROPOSED RIGHT-OF-WAY |  | GROUP OF FOUR GLAD POSTS |
|  | PROPOSED SETBACK LINE |  | DUMPSTER PAD |
|  | 100 YEAR FLOOD PLAIN |  | TRANSFER PAD |
|  | 18" CURB AND GUTTER |  | PROPOSED SIGNAL |
|  | 24" CURB AND GUTTER |  | GRATE INLET |
|  | PROPOSED RETAINING WALL |  | STORM MANHOLE |
|  | CROSS WALK |  | DOUBLE WING CATCH BASIN |
|  | STOP BAR (PAVEMENT MARKING) |  | SINGLE WING CATCH BASIN |
|  | TRAFFIC FLOW ARROWS (PAVEMENT MARKING) |  | INLET PIKE |
|  | "YIELD" (PAVEMENT MARKING) |  | OUTLET CONTROL STRUCTURE |
|  | DIRECTIONAL ARROWS (PAVEMENT MARKING) |  | HEADWALL |
|  | "FULLY" DIRECTIONAL ARROWS (PAVEMENT MARKING) |  | SAFARI/SILVER MANHOLE |
|  | HANDICAP STALL |  | CONCRETE |
|  | CONCRETE WHEEL STOP |  | STANDARD DUTY PAVING |
|  | A.D.A. STED HANDICAP RAMP |  | HEAVY DUTY PAVING |
| | |  | OVERLAY EXISTING PAVEMENT |

SITE AREA

TOTAL PROPERTY AREA:	1.067 ± AC (43,561 ± S F)
DISTURBED AREA:	1.04 ± AC (43,124 ± S F)
IMPERVIOUS AREA:	0.82 ± AC (35,719 ± S F)
PERVIOUS AREA:	0.25 ± AC (10,090 ± S F)

ZONING CLASSIFICATION

JURISDICTION:	CITY OF FAIRBURN
ZONING:	C-2 / HWY 74 OVERLAY
ADJACENT ZONING:	C-2

BUILDING SETBACKS

FRONT	50 FEET
SIDE	20 FEET
REAR	30 FEET

BUILDING SUMMARY

PROPOSED BUILDING AREA:	
RESTAURANT	4,340 SF
RETAIL	3,010 SF
TOTAL	7,350 SF
BUILDING AREA LIMIT:	
BUILDING HEIGHT LIMIT:	48 FEET

PARKING SUMMARY

PARKING REQUIREMENTS 1 PER 200 SF (RETAIL) & 1 PER 100 SF (REST.)
RESTAURANT 1 PER 100 SF - 4,340 SF = 44 SPACES

RETAIL 1 PER 200 SF - 3,010 SF = 15 SPACES
TOTAL PARKING REQUIRED 59 SPACES
TOTAL PARKING PROVIDED 54 SPACES
10% ADMINISTRATIVE PARKING VARIANCE REQUESTED

LANDSCAPING SUMMARY

PARKING ISLANDS	TBD
FRONT LANDSCAPE BUFFER	35 FEET
SIDE LANDSCAPE BUFFER	5 FEET
REAR LANDSCAPE BUFFER	10 FEET

GENERAL SITE NOTES:

- 1 ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2 ALL NEW CURB AND GUTTER TO BE 24" CURB AND GUTTER UNLESS OTHERWISE
3 SPECIFIED.
4 ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF
5 DEMOLITION. ALL TREES SHALL HAVE PROPER PROTECTION DURING CONSTRUCTION.
6 A PRELIMINARY SURVEY BY THE ENGINEER, LLC, DATED 07-09-21.
7 FLOODPLAIN IS NOT PART OF THE SITE AS DEPICTED BY FEMA FIRM PANEL NUMBER
8 130124062F, DATED 09-18-2013.
9 OWNER IS RESPONSIBLE FOR OBTAINING ANY NECESSARY OFFSETS FROM ADJACENT
10 UTILITY OWNERS. THE PROJECT SHALL BE CONSTRUCTED TO THE REQUIRED OFFSETS WORK, INCLUDING
11 STORM DRAINAGE, UTILITY CONNECTIONS, SIDEWALK, CURB AND GUTTER AND
12 PAVEMENT TIE-INS AND GRADING.
13 PARKING COURT BASED ON THE PARKING REDUCTION PREVIOUSLY GRANTED TO THE
14 PROJECT AS PERMITTED BY THE DEVELOPER.



**Know what's below.
Call before you dig.**

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON AN APPROXIMATE MAP ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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**24 HOUR
EMERGENCY CONTACT**
ANTA FORD
404-406-9903

ATWELL
866.850.4200 www.atwell-group.com
1255 LAKES PKWY, BUILDING 100, SUITE 120
LAWRENCEVILLE, GA 30043

100

AND LOT 27, 9TH DISTRICT
8026 SENOIA ROAD
CITY OF FAIRBURN
FULTON COUNTY, GEORGIA

BISHOP KAMMERER II, LLC
FAIRBURN STATION
SITE DEVELOPMENT PLANS
C200 SITE PLAN - FAIRBURN - SITE PLAN

DATE 09-26-2021

[illegible]

REVISIONS



No. PE039585
 PROFESSIONAL



IAN E KA

SCALE: 1"=20'

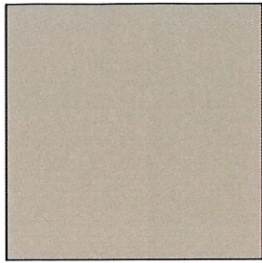
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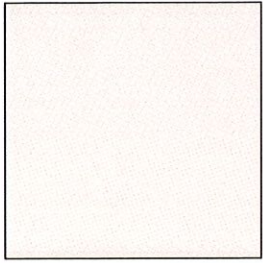
PROJECT MANAGER: THEO STONE
JOB #: 21001548

FILE CODE: DESIGN

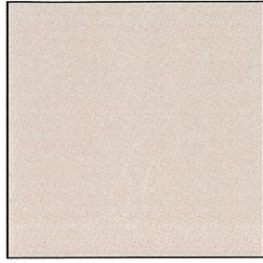
SHEET NO. 0



S1) STUCCO: PAINT DURON - 8714M WILDCAT



S2) STUCCO: PAINT DURON - 8680W ARIA IVORY



S3) STUCCO: PAINT DURON - 8683W TINDERBOX



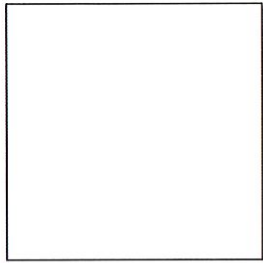
B1) CHEROKEE BRICK: AUGUSTA



R1) STANDING SEAM METAL ROOF - BLACK



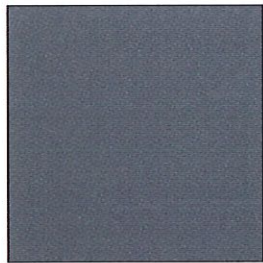
B2) CHEROKEE BRICK: MOSTOWN



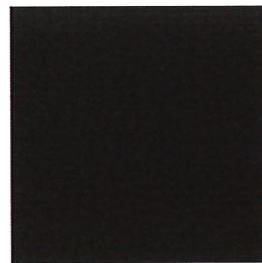
G1) INSULATED CLEAR GLASS



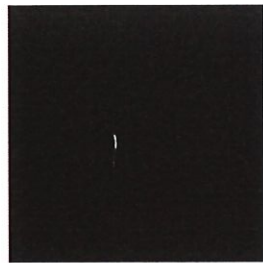
AW1) BLACK FABRIC AWNING



P1) GREY PAINT - DOOR, EQUIPMENT, LADDER, SCUPPERS, GAS ELECT, ETC

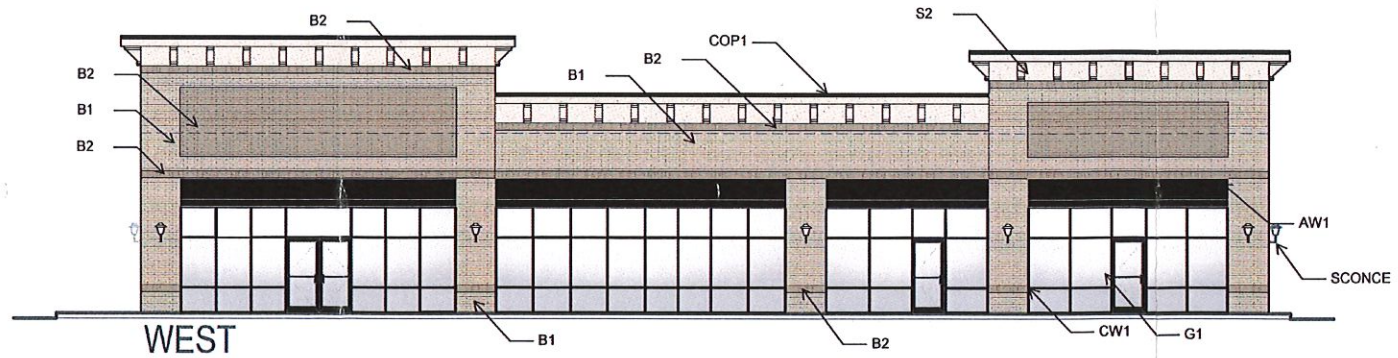
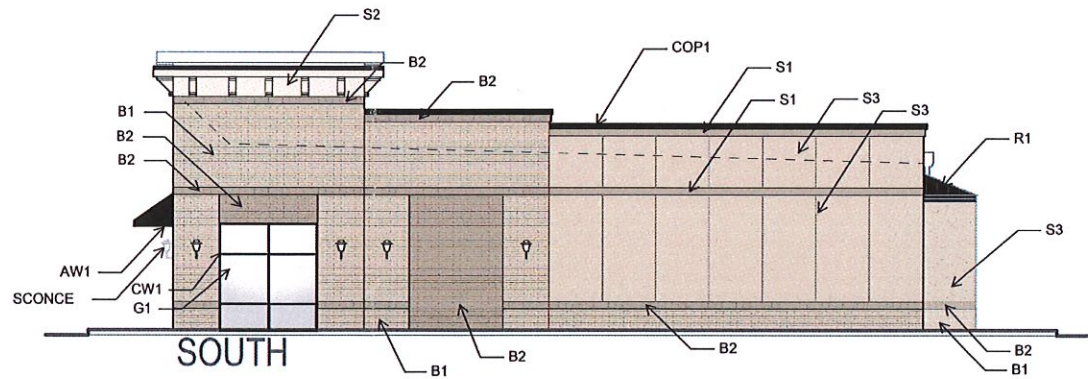
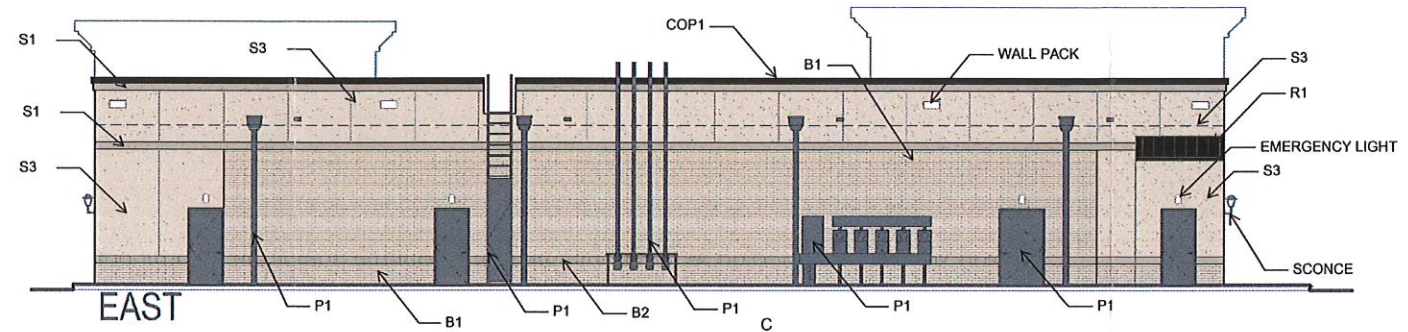
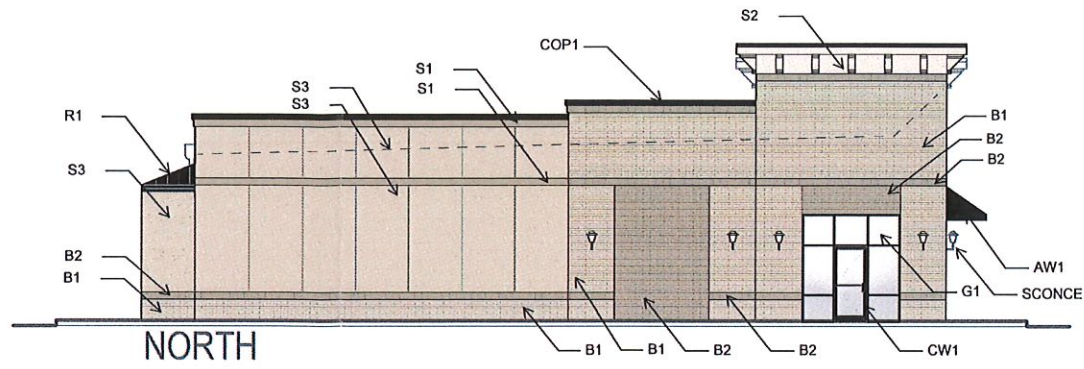


COP1) COPING



CW1) CURTAIN WALL: BLACK ALUMINUM

* ALL LIGHT FIXTURES TO HAVE BLACK HOUSINGS



FAIRBURN STATION . Fairburn, Georgia | MATERIAL AND COLOR BOARD ELEVATIONS

RIVERWOOD PROPERTIES

A21335
10/22/21

Scale: 1/8" = 1'-0"



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