

Planning and Zoning Commission AGENDA

Tuesday, November 1, 2022 ♦ 7:00 p.m.

- Call to Order
- Determination of a Quorum
- Pledge of Allegiance
- Public Comments

Comments to the Planning and Zoning Commission should be limited to no more than two minutes. Groups wishing to address an issue should select one or two spokesperson(s). The time allowed for all issues shall not exceed a total of fifteen minutes. Issues raised at this time are generally referred to the Director of Planning and Zoning for review. Responses will be provided at a later date.

- Approval of the Meeting Agenda
- Approval of Meeting Minutes
 - October 4, 2022 Meeting Minutes
- Public Hearing
- Old Business
- New Business
 - Preliminary Plat 2022019PP Evergreen Residential Subdivision

Address: 294 Elder Street (09F171000670178), 296 Elder Street (09F171000670244), 0 Strickland Street Rear (09F171000670137), and 246 Strickland Street (09F171000670129)

Request: To approve the conceptual plat for the Evergreen Residential Subdivision.

o Conceptual Plat 2022092CP Mini Storage Depot

Address: 156 Jonesboro Road (09F170300661283)

Request: To approve the conceptual plat for the Mini Storage Depot

Conceptual Plat 2022036CP South Park Building C

Address: 7760 Spence Road (09F060000340553)

Request: To approve the conceptual plat for South Park Building C

2022127U Use Permit – BCW Enterprises, Inc.

Address: 98 Orchard Street (09F170900670486)

Request: To approve a use permit for a group home/shelter.

2022125U Use Permit – Logistics Acquisitions, LLC

Address: 8105 Cleckler Road (07290001560699)

Request: To approve a use permit for a truck terminal.

- Staff Report
 - o Discussion on rescheduling the January 3, 2022, regularly scheduled meeting.
- **Commissioner Comments**
- Adjournment

CITY OF FAIRBURN

56 SW Malone Street. Fairburn, GA 30213-1341 | (770) 964-2244 | Fax (770) 969-3474 | www.fairburn.com



PLANNING AND ZONING COMMISSION MEETING MINUTES

City Hall 56 Malone Street Fairburn, GA 30213 Tuesday, September 13, 2022 7:00 p.m.

Elizabeth Echols, Chair Anthony Stewart, Vice-Chair (*Absent*) Tony Smith Jason Jones LaVone Deavers Michelle James

Interim Senior Planner: Richard Edwards

City Attorney: Valerie Ross

- I. <u>MEETING CALLED TO ORDER</u>: The meeting was called to order at 7:00 p.m. by Chair Echols.
- **II. ROLL CALL:** A quorum was determined, and the meeting proceeded.
- III. PUBLIC COMMENTS: None
- IV. <u>APPROVAL OF AGENDA</u>: Commissioner James made a motion to **APPROVE** the agenda. Commissioner Deavers seconded. **THE MOTION CARRIED.**
- V. <u>APPROVAL OF PREVIOUS MEETING MINUTES</u>: Commissioner Smith made a motion to **APPROVE** the September 13, 2022, minutes. Commissioner Jones seconded. **THE MOTION CARRIED.**

VI. PUBLIC HEARING:

• **2022115 Primary Variance Gomes** - A request to reduce the side yard setback from 10′ to 5′ feet to allow for an addition to an existing structure.

Richard Edwards introduced the case and presented on behalf of staff.

No public comment.

Commissioner Jones motioned to APPROVE Primary Variance 2022115.

Commissioner Smith seconded. THE MOTION CARRIED.

VII. OLD BUSINESS: None

VIII. NEW BUSINESS:

o 2022088 Rezoning MCRT SFR Investments

Address: 8515, 8521 Senoia Road and 0, 8521 Landrum Road (Parcel Tax ID # 09F020300080085, 09F020300080077, 09F020300080051 & 09F020300080028)

Request: To rezone 41.895 acres from AG (Agricultural) to PD (Planned Development)

Richard Edwards introduced the case and presented on behalf of staff.

Tyler McSwain, Battle Law Firm, and Michael Canady, Mill Creek Residential, presented their case to the commission.

Commissioner Jones asked if these were rentals units. The applicant confirmed that these units were a build to rent product.

Commissioner Smith asked if the developer had completed any similar projects.

Commissioner James asked how they chose this particular property.

Commissioner Jones asked if there were any plans for the commercial area. The application stated that there are no plans for the commercial area and a different developer would most likely develop all of the commercial space.

Commissioner Smith asked what the price range for the units were going to be. The applicant stated that the approximate rates would be \$2,200 for a 2-bedroom and \$2,400 for a 3-bedroom and clarified that the market may change so those are not fixed prices.

Commissioner Jones verified with the applicant that all units have a garage.

No public comments.

Commissioner Deavers motioned for **DENIAL** on Rezoning 2022088. Commissioner Smith seconded. **THE MOTION CARRIED.**

o 2022117U & 2022124CV Use Permit & Concurrent Variances – Fairburn 55

Address: 7875 Bohannon Road (Parcel Tax ID # 09F080000280864 & 09F080000110871)

Request: To approve a use permit for senior housing in the AG (Agricultural) zoning district with four concurrent variances. The concurrent variances are to reduce the front yard setback along Oakley Industrial Boulevard to 50-feet from 100-feet, allow renter-occupied units, increase the lot coverage from 15% to 28.6%, and allow parking in the front yard setback.

Richard Edwards introduced the case and presented on behalf of staff.

Chis Pike, Urban Pulse Universal, LLC, presented his case to the commission.

Commissoner Smith has what the price range for the units were going to be. The applicant stated that market research would need to be completed prior to establishing a price.

Commissioner Smith asked ow many stories were being proposed on the residential structures. The applicant stated that the structures would be 4-stories with elevators.

Commissioner Deavers asked if the developer had emergency plans in place for evacuation of the seniors in case of an emergency.

Commissioner Smith verified with the applicant that all units would have balconies.

Commissioner Jones verified with the applicant that there would be a 24-hour property management company present on-site.

Chairwoman Echols asked if the applicant has completed a traffic study. The applicant stated that a traffic study was not required for this project, as proposed.

Commissioner Jones asked staff if sidewalks would be required on all frontages. Staff confirmed that sidewalks would be required on Bohannon and Oakley Industrial Roads.

No public comments.

Commissioner Deavers motioned for **DENIAL** on Use Permit 2022117U and Concurrent Variance 2022124CV. Commissioner Smith seconded. **THE MOTION CARRIED.**

X. STAFF REPORT:

Interim Senior Planner, Richard Edwards, informed the commission of upcoming items.

XI. <u>COMMISSION</u> COMMENTS:

Commissioner Deavers mentioned that she was not fond of the idea of having seniors live in a 4-story building.

Commissioner James mentioned that the Comprehensive Plan is in place to protect the City.

Commissioner Jones thanked staff for the comprehensive staff reports.

Commissioner Smith stated that he has children and seniors in mind when making decisions.

Chairwoman Echols thanked the Mayor for attending the meeting.

XII. <u>ADJOURNMENT</u>: Commissioner James made a motion to **ADJOURN**. Commissioner Deavers seconded. **THE MOTION CARRIED**.

MEETING ADJOURNED: The meeting adjourned at 7:57 p.m.

Approval Signatures	
Date Approved	
Elizabeth Echols, Chairwoman	
Rebecca Keefer, Recording Secretary	



CITY OF FAIRBURN PLANNING AND ZONING COMMISSION AGENDA ITEM

SUBJECT: CONCEPT I	PLAT 2022019PP EVERGREEN R	ESIDENTIAL SUBDIVISION	
() AGREEMENT () ORDINANCE	() POLICY / DISCUSSION () RESOLUTION	() CONTRACT (X) OTHER	
Submitted: 08/24/22	Public Hearing: N/A	City Council: N/A	
DEPARTMENT: Planni BUDGET IMPACT: N/A PUBLIC HEARING: (
PURPOSE: For the Plan residential subdivision.	ning and Zoning Commission to rev	riew the preliminary plat for the Evergreen	

HISTORY: The rezoning request for the Evergreen Residential Subdivision was conditionally approved by the Mayor and City Council on May 23, 2022. The Planning and Zoning Commission Approved the

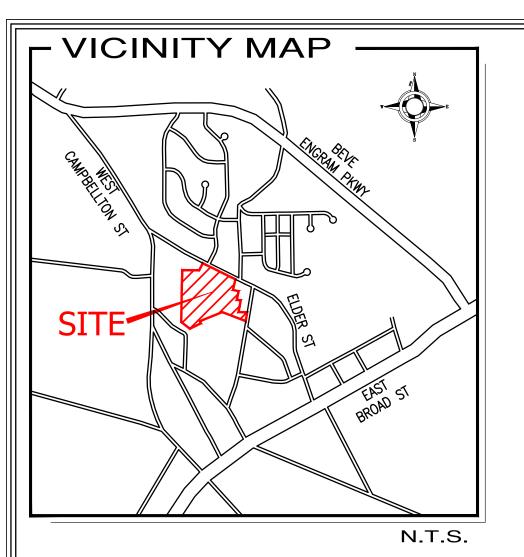
concept plat on August 2, 2022, at he regularly scheduled meeting.

FACTS AND ISSUES: The residential development consists of 73 detached lots with amenities including 3 pergolas, a gazebo; and passive recreational park space.

Staff has reviewed the preliminary plat and finds that the plat meets the preliminary plat subdivision regulations and code of ordinances, such as the minimum lot size, setbacks, and buffer standards.

RECOMMENDED ACTION: For the Planning and Zoning Commission to approve the Evergreen Subdivision Preliminary Plat.

Attachment: Evergreen Subdivision Preliminary Plat



PRELIMINARY PLAT FOR EVERGREEN SUBDIVISION

LOCATED IN THE CITY OF FAIRBURN, FULTON COUNTY, GEORGIA

LAND LOTS 67 & 74 OF DISTRICT 9F

TAX PARCEL ID #s: 09F171000670129, 09F171000670137 09F171000670178, & 09F171000670244

ENGINEER

ASHFORD ENGINEERS SOUTH, LLC

350 VIRGINIA HIGHLANDS

(678) 817 - 6956

CONTACT: DANIEL R. GREENE, P.E.

GSWCC LEVEL II CERTIFICATION#0000015975

FAYETTEVILLE, GEORGIA 30215

ZONED: R-4

AUGUST 2022

OWNER / DEVELOPER /

DRB HOMES

160 WHITNEY STREET

FAYETTEVILLE, GEORGIA 30214

(404) 859 - 7887

CONTACT: DOUG RANSOM

EMAIL: doug@knighthomes.com

SUBDIVIDER

-GENERAL NOTES 1. EXISTING ZONING: R-4 TAX ID #: 09F171000670129, 09F171000670137, 09F171000670178 & 09F171000670244 FRONT SETBACK: EXTERIOR - 25' FROM R.O.W. LOTS - 15' FROM R.O.W. NOTE: ADJACENT LOT FRONTS SHALL BE STAGGERED A MINIMUM OF FIVE FEET (5') FROM ONE ANOTHER WITH RESPECT TO THE CONSTRUCTED BACK OF CURB. REAR SETBACK: 25' - TOTAL NUMBER OF UNITS: 73 - MINIMUM LOT WIDTH: 50' MINIMUM LOT SIZE: 5,000 S.F. MINIMUM DWELLING SIZE REQUIRED: 1,400 S.F. INTERNAL STREET WIDTH: 50' R/W INTERNAL STREET WIDTH: 28' FROM BACK OF CURB TO BACK OF CURB HOME FACADES WILL BE A COMBINATION OF WOOD, BRICK, STONE OR MASONRY STUCCO ON CONCRETE (EIFS PROHIBITED). THE BRICK OR STONE MATERIALS SHALL COMPRISE NOT LESS THAN TWENTY-FIVE PERCENT (25%) OF THE EXTERIOR FINISHES OF FRONT FACADES. PROPERTY CONTAINS 18.26 ACRES AND IS LOCATED IN LAND LOT 67 & 74 OF DISTRICT 9F, CITY OF FAIRBURN, FULTON COUNTY, GEORGIA. . DEVELOPMENT IS TO BE PERFORMED IN ONE CONTINUOUS PHASE ONLY. 1. DENSITY: 73 UNITS / 18.26 ACRES = 4.00 UNITS / ACRE NET ACREAGE: 18.26 ACRES - 2.09 ACRES (PAVEMENT) - 0.03 ACRES (BENCHES, PERGOLAS & GAZEBOS) - 0.74 ACRES (SIDEWALKS) - 0.12 ACRES (EMERGENCY ACCESS) = 15.28 ACRES POTENTIAL R/W DEDICATION = 0.207 ACRES; THEREFORE, NET ACREAGE = 15.07 ACRES NET DENSITY: 73 UNITS / 15.07 ACRES = 4.84 UNITS / NET ACRE BOUNDARY AND RIGHT-OF-WAY INFORMATION OBTAINED FROM SURVEY BY W&A ENGINEERING, DATED 6/16/2022. TOPOGRAPHIC INFORMATION PROVIDED BY UAV LIDAR BY REMOTE MAPPING GROUP DATED THIS SITE DOES NOT CONTAIN AREAS WITHIN THE 100-YEAR FLOOD HAZARD AREA PER F.E.M.A. FIRM PANEL 13121C0454F, DATED 9/18/2013. TWO-CAR GARAGES SHALL BE PROVIDED FOR EACH SINGLE-FAMILY LOT. UPGRADED GARAGE DOORS WITH ARCHITECTURAL ELEMENTS SHALL BE UTILIZED. PEDESTRIAN-SCALES STREET LIGHTING SHALL BE PROVIDED ALONG BOTH SIDES OF INTERNAL STREETS THROUGHOUT THE DEVELOPMENT. A TRAFFIC STUDY HAS BEEN CONTRACTED FROM MALDINO & WILBURN. THE DEVELOPER UNDERSTANDS THAT SAID STUDY WILL DETERMINE WHETHER ACCELERATION, DECELERATION AND/OR TURNING LANES WILL BE REQUIRED FOR THE SUBDIVISION ENTRANCE. AS A RESULT THE DEVELOPER MAY BE REQUIRED TO PROVIDE ADDITIONAL STREET RIGHT-OF-WAY TO ACCOMMODATE THE INSTALLATION OF THOSE LANES. ALL MATERIALS, METHODS OF CONSTRUCTION, AND WORKMANSHIP FOR STREET CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION, INCLUDING ALL AMENDMENTS. THERE ARE STATE WATERS PRESENT ON THIS SITE PER PLAN. THERE ARE NO KNOWN WETLANDS PRESENT ON THIS SITE, PER SITE VISIT. PER STUDY PERFORMED BY CORBLU ECOLOGY GROUP DATE .0. OPEN SPACE CALCULATIONS O.S. A = 2.201 ACRES O.S. B = 0.264 ACRES O.S. C = 1.689 ACRES O.S. D = 0.218 ACRES O.S. E = 0.662 ACRES O.S. F = 0.135 ACRES O.S. G = 0.135 ACRES O.S. H = 0.135 ACRES TOTAL OPEN SPACE = 5.439 ACRES (29.8% OF TOTAL AREA) NET OPEN SPACE (LESS 0.903 ACRE STORMWATER MANAGEMENT FACILITY) = 4.536 ACRES (24.8%) THE OPEN SPACES ARE CONCEPTUAL IN NATURE AND SHALL BE FINALIZED DURING FINAL ENGINEERING. EACH ARE INTENDED TO SUPPORT PASSIVE RECREATION ACTIVITIES. OVERALL, AMENITIES WILL CONTAIN AT LEAST A PICNIC AREA, BENCHES, A PERGOLA, WALKING TRAILS AND A MAIL KIOSK (CBU). . PROPOSED STREET LENGTHS: 2,930 L.F. ALPINE ROAD = 610 L.f.CEDAR DRIVE = 1040 L.F. CAMELLA DRIVE = 610 L.F. HYDRANGEA CIRCLE = 500 L.F. REDWOOD ROAD = 169 L.F.

PDEVELOPMENT INTENT: — THE PROPOSED SINGLE-FAMILY DETACHED DEVELOPMENT IS PROPOSED ON 18.26 ACRES LOCATED ON THE SOUTH SIDE OF ELDER STREET, APPROXIMATELY THREE HUNDRED AND THIRTY-FIVE FEET (335') TO THE WEST OF SAID ROAD'S INTERSECTION WITH STRICKLAND STREET. THIS SUBDIVISION PLANS TO DEVELOP SEVENTY-THREE (73) RESIDENTIAL LOTS WITH WITH HOMES RANGING FROM ONE THOUSAND NINE HUNDRED THIRTY-EIGHT (1,938) SOUARE FEET TO TWO THOUSAND FOUR HUNDRED SIXTEEN (2,416) SOUARE FEET. FACADÉS OF THE HOMES SHALL BE CONSTRUCTED WITH A COMBINATION OF TWO (2) OR MORE OF FROM THE BACK OF CURB. WIDTH OF FIVE FEET (5') AND SHALL BE CONSTRUCTED TO COMPLY WITH THE

DWNER'S CERTIFICATE: I HEREBY SUBMIT THIS PRELIMINARY PLAT AS THE OWNER, OR HIS AUTHORIZED 8-8-22 REGISTERED CIVIL ENGINEER NO. SUBDIVISION EVERGRE **DEVELOPMENT COORDINATOR**

THE FOLLOWING MATERIALS: FIBER-CEMENT SIDING, WOOD SHAKE, CLAPBÓARD, BRICK AND/OR STONE. NO VINYL OR EIFS (SYNTHETIC STUCCO) WILL BE USED. AT LEAST TWENTY-FIVE PERCENT (25%) OF THE FRONT FACADES SHALL CONSIST OF BRICK OR STONE HOMES WILL CONTAIN FOUR (4) BEDROOMS EACH AND UP TO THREE AND A HALF (3.5) BATHS. TWO-CAR GARAGES SHALL BE PROVIDED TO EACH HOME, WITH UPGRADED DOORS THAT UTILIZE ARCHITECTURAL ELEMENTS. FURTHERMORE, A MINIMUM FIVE FOOT (5') STAGGER SHALL BE UTILIZED BETWEEN ADJACENT HOME FRONTAGES, WHEN MEASÙRÉD

MAYOR OR CITY ADMINISTRATOR

THE DEVELOPMENT WILL INCLUDE AN AMENITY PACKAGE INCLUDING 5.439 OF OPEN / GREENSPACE, WHICH INCLUDES PICNIC AREAS, BENCHES, A PERGOLA, WALKING TRAILS AND A MAIL KIOSK. SIDEWALKS SHALL BE PROVIDED ON ALL STREET FRONTAGES AT A MINIMUM REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS AND THE CITY OF FAIRBURN DEVELOPMENT STANDARDS. SIDEWALKS WILL ÁLSO BE PROVIDED ALONG THE PROPERTY FRONTAGES ALONG BOTH ELDER STREET AND STRICKLAND STREET. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND THROUGHOUT THE DEVELOPMENT, WITH PEDESTRIAN-SCALE STREET LIGHTING PROVIDE ALONG BOTH SIDE OF ALL INTERNAL STREETS. THE DEVELOPMENT SHALL INSTALL A CANOPY OR UNDERSTORY TREE IN THE FRONT YARD OF EACH LOT AND SHALL SOD BOTH THE FRONT AND REAR YARDS OF EACH LOT. A TRAFFIC ENGINEER HAS BEEN ENGAGED TO PERFORM A FULL TRAFFIC STUDY OF THE DEVELOPMENT'S EFFECT ON THE ADJACENT STREETS. HOWEVER, PRELIMINARY CALCULATIONS HAVE DETERMINED THAT THE PROPOSED SUBDIVISION WILL GENERATE FIFTY-FIVE (55) NEW TRIPS IN THE MORNING PEAK HOUR AND SEVENTY-THREE (73) NEW TRIPS IN THE EVENING PEAK HOUR AND SEVEN HUNDRED FORTY-FIVE (745) NEW DAILY

SINGLE-FAMILY LOT. THE FRONT AND REAR YARDS OF EACH LOT SHALL BE SODDED.

13. THE DEVELOPER SHALL INSTALL A CANOPY OR UNDERSTORY TREE IN THE FRONT YARD OF EACH

WATER TO BE PROVIDED BY CITY OF ATLANTA. WASTEWATER SERVICE TO BE PROVIDED BY FULTON

COUNTY. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND THROUGHOUT THE DEVELOPMENT AREA.





CITY OF FAIRBURN PLANNING AND ZONING COMMISSION AGENDA ITEM

SUBJECT: CONCEPT PLA	AT 2022092CP WIINT STURAGE	DEPUI
() AGREEMENT () ORDINANCE	() POLICY / DISCUSSION() RESOLUTION	() CONTRACT (X) OTHER
Submitted: 10/19/22	Public Hearing: N/A	City Council: N/A
DEPARTMENT: Planning a	and Zoning Office	
BUDGET IMPACT: N/A		
PUBLIC HEARING: ()	Yes (X)No	
PURPOSE: For the Planning Depot.	g and Zoning Commission to revi	iew the concept plat for the Mini Storage
HISTORY: This is a vacant l	ot that is zoned M-1. A self-storage	facility is an allowed use on the property.
FACTS AND ISSUES: The	proposal is to construct a 94,304 squ	uare foot self-storage facility.
	plat and finds that the plat meets the as the minimum lot size, setbacks	ne preliminary plat subdivision regulations s, and buffer standards.
RECOMMENDED ACTION Depot Concept Plat.	V: For the Planning and Zoning C	Commission to approve the Mini Storage
Attachment: Mini Depot Conc	rept Plat	

CONCEPTUAL PLAN FOR

MINI STORAGE DEPOT ATRAIRBURN

Sheet List Table		
Sheet Number	Sheet Title	
1.0	COVER SHEET	
2.0	CONCEPT PLAN	
2.1	CONCEPT DETAILS	
3.0	RW DEDICATION EXHIBIT	
4.0	SAN. SEWER PROFILE	
5.0	CONCEPTUAL LANDSCAPE PLAN	
6.0	ATLTA NSPS LAND TITLE SURVEY	

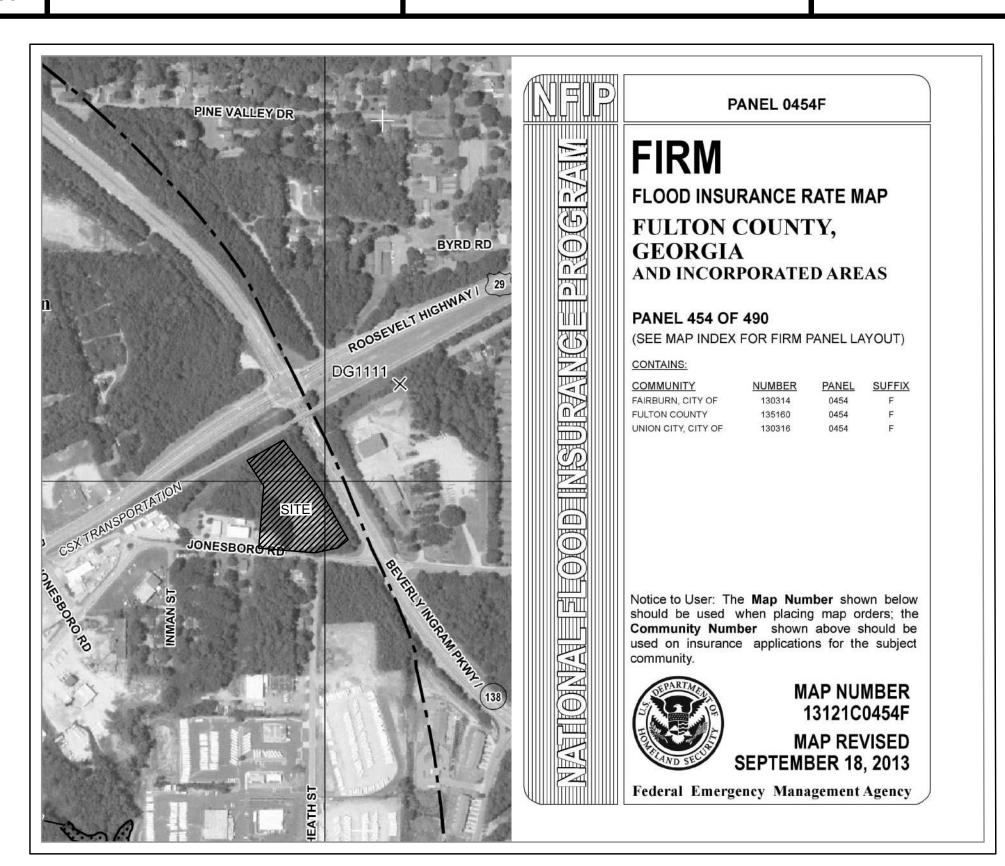
LAND LOT 134, 6TH DISTRICT CITY OF FAIRBURN, GEORGIA

OWNER/DEVELOPER: STERLING DEVELOPMENT, LLC. 3900 EDISON LAKES **PKWY SUITE 201 MISHAWAKA, IN 46545** PHONE: (770) 652-6963 cpatterson@thesterlinggrp.com

24 HOUR CONTACT: CLINT PATTERSON PHONE: (770) 652-6963 cpatterson@thesterlinggrp.com

SURVEYOR: FALCON DESIGN CONSULTANTS, LLC 235 CORPORATE CENTER DR., **SUITE 200 STOCKBRIDGE, GA 30281** PHONE: (770) 389-8666

ENGINEER: FALCON DESIGN CONSULTANTS, LLC 235 CORPORATE CENTER DR., **SUITE 200** STOCKBRIDGE, GA 30281 PHONE: (770) 389-8666

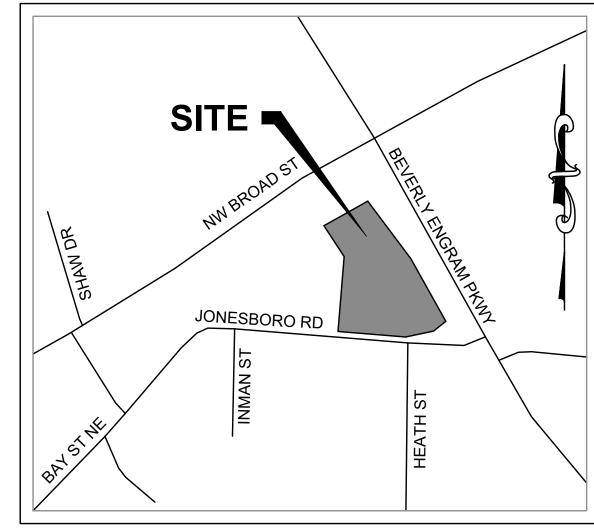


FEMA FLOOD MAP

FLOOD NOTE

N.T.S.

AS SHOWN ON FLOOD INSURANCE RATE MAPS OF FULTON COUNTY, GEORGIA COMMUNITY PANEL NUMBER: 13121C0454F EFFECTIVE DATE: SEPTEMBER 18, 2013, THE SITE IS NOT LOCATED IN A FEMA FLOOD HAZARD ZONE.

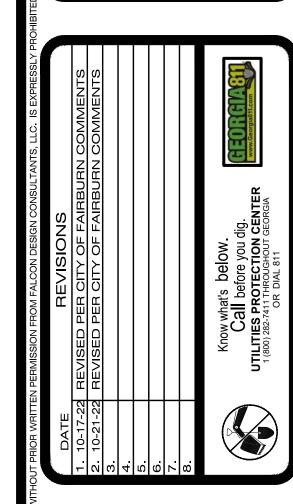


VICINITY MAP

DEVELOPMENT DATA

1.	OWNER / DEVELOPER	5. FLOOD ZONE DATA
	STERLING DEVELOPMENT, LLC. 3900 EDISON LAKES PKWY SUITE 201 MISHAWAKA, IN 46545 PHONE: (770) 652-6963 24 HOUR CONTACT: CLINT PATTERSON PHONE: (770) 652-6963	THE PARCEL SHOWN HEREIN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA PER F.I.R.M. PANEL 13121C0454F EFFECTIVE DATE SEPTEMBER. 18, 2013 LOCATED IN THE UPPER FLINT WATERSHED PROJECT RECEIVING WATERS:
2.	ENGINEER	DEEP CREEK
	FALCON DESIGN CONSULTANTS, LLC 235 CORPORATE CENTER DR., SUITE 200 STOCKBRIDGE, GA 30281	6. <u>PROPERTY ADDRESS</u> 156 JONESBORO ROAD FAIRBURN, GA 30213
	PHONE: (770) 389-8666	7. SITE REQUIREMENTS
3.	SOURCE OF DATA	PROJECT AREA:
-	FALCON DESIGN CONSULTANTS, LLC	OVERALL DEVELOPMENT 3.10 ACR
	235 CORPORATE CENTER DR.,	BUILDING SETBACKS:
	SUITE 200	MIN. FRONT YARD 35 FT.
	STOCKBRIDGE, GA 30281 PHONE: (770) 389-8666	MIN. SIDE YARD 20 FT.
	1 110NL. (170) 303-0000	MIN. CORNER YARD N/A
	TOPOGRAPHIC & BOUNDARY SURVEY	MIN. REAR YARD 30 FT.
	PERFORMED BY:	8. ZONING: M1
	FALCON DESIGN CONSULTANTS, LLC DATED: FEBRUARY 18, 2022.	9. IMPERVIOUS AREA: 1.80 ACRE
	SITE LOCATION DATA SOUTHWEST OF SR 29/ NW BROAD STREET AND SR 138/ BEVERLY ENGRAM PKWY IN CITY OF FAIRBURN, GEORGIA THERE: ARE NO STATE WATERS LOCATED WITHIN 200 FT. OF THE SITE	





MENT WITH			.,,
		DATE:	9/15/22
<u>v.</u>		SCALE:	N/A
L H	5	PROJ NUMBER:	320.002
Ω.	2	DRAWN BY:	AW EAM
4		REVIEWED BY:	-
Ĺ		REVISED BY:	_
	2		
ALL RIGHTS ARE RESERVED. ANY POSSESION. REPRODICTION OR OTHER LISE OF THIS DOCHMENT WITH	אבר ווכו ווס אורב וובסבו עבר. אין ו ססכבסוסיי, וובן ווססס	GSWCC# 00 THIS DOCUMENT IS NOT VAL ORIGINAL SIGNATURE O ACROSS THE REGI	0440 SIONAL W V V V V V V V V V V V V V V V V V V

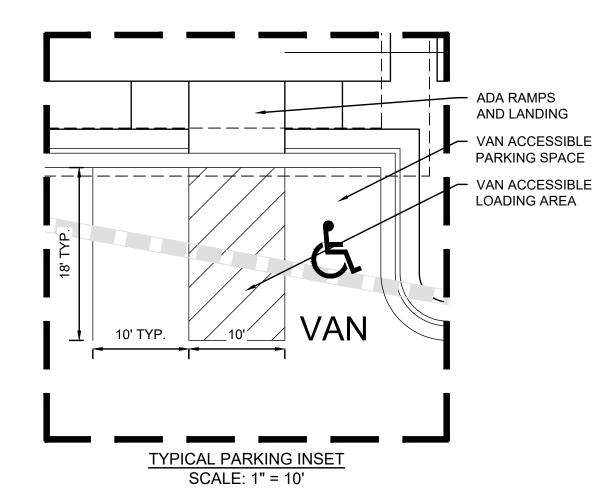
SHEET NUMBER

PARKING REQUIREMENTS:

- PER SEC. 80-337 (B) (25) OF CHAPTER 80, ARTICLE IX, MINI WAREHOUSES SHALL PROVIDE ONE SPACE PER 5,000 SQUARE FEET OF GROSS STORAGE AREA, PLUS ONE SPACE FOR EVERY EMPLOYEE.
- THE GROSS SQUARE FOOTAGE OF THE PROPOSED MINI WAREHOUSES IS 94,304.
- TWO EMPLOYEES ARE ANTICIPATED AT ANY GIVEN TIME DURING THE PROPOSED DEVELOPMENTS OPERATION
- THE RESULTING PARKING REQUIRED IS AS FOLLOWS:

2 EMPLOYEE SPACES + 94,304SF/ 5,000SF/CUSTOMER SPACE = 21 SPACES REQUIRED

• OF THESE SPACES, ONLY ONE WILL BE REQUIRED AS ACCESSIBLE.



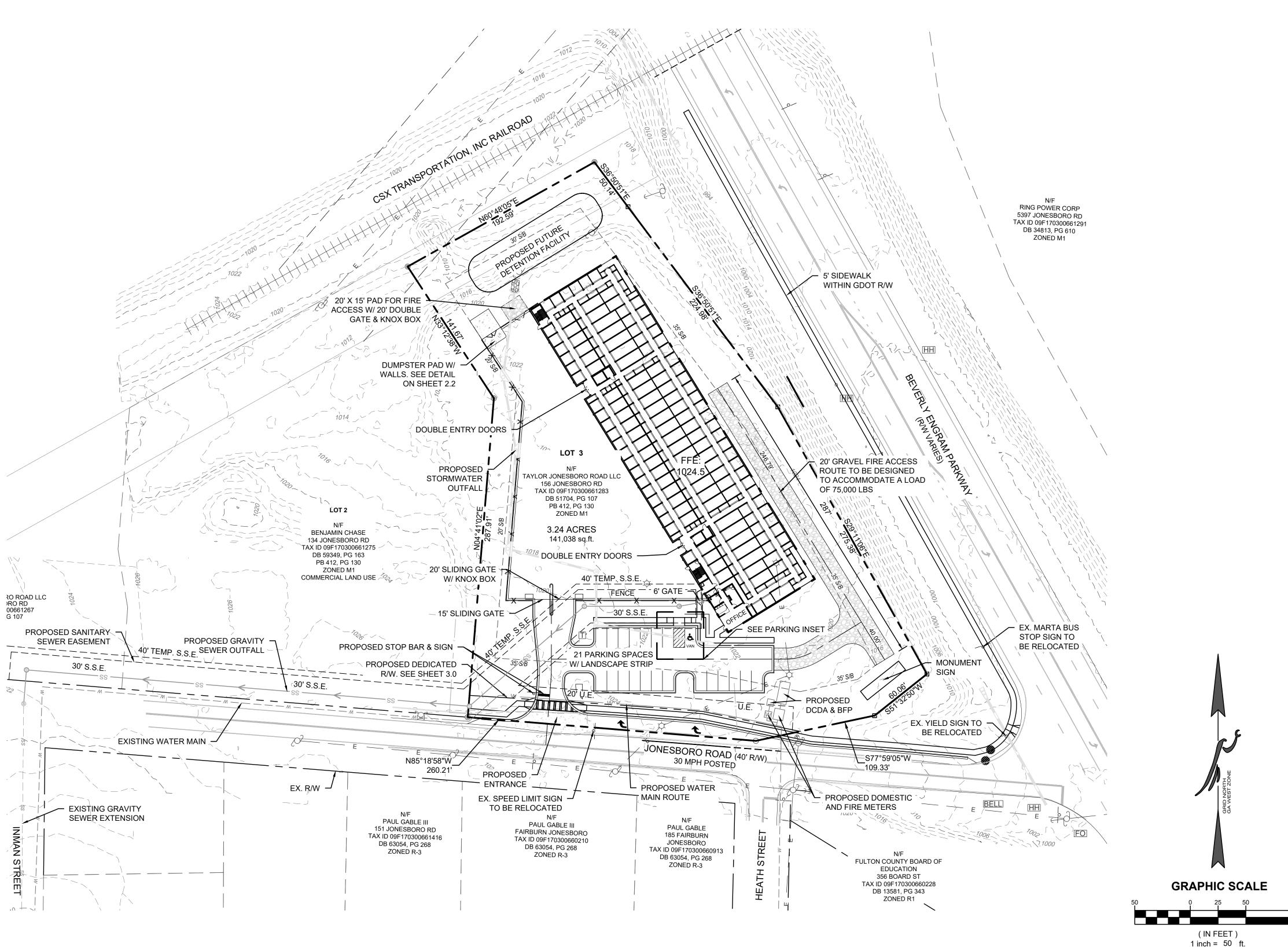
GENERAL NOTES:

- 1. TOTAL DISTURBED AREA: TO BE DETERMINED
- TOTAL IMPERVIOUS AREA: 1.80 AC. OF 3.10 AC. = 58% OF TOTAL DEVELOPMENT
 LAYOUT IS CONCEPTUAL IN NATURE AND IS FOR PLANNING PURPOSES ONLY.
- 4. EXHIBIT WAS PRODUCED UTILIZING LIDAR TOPO DATA PROVIDED BY FALCON DESIGN CONSULTANTS.

FURTHER INFORMATION WILL BE REQUIRED TO DESIGN THE PROJECT.

- 5. PROPOSED SANITARY SEWER EASEMENT IS TO BE OBTAINED FROM ADJACENT PROPERTY OWNERS PRIOR TO CONSTRUCTION.
- 6. ALL MATERIALS, METHODS OF CONSTRUCTION, AND WORKMANSHIP FOR STREET CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, INCLUDING ALL AMENDMENTS.
- 7. ALL PAVEMENT MARKINGS INSTALLED ON ASPHALT WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE THERMOPLASTIC MATERIAL; 1.5-INCH BLACK CONTRACT TAPE SHALL BE INSTALLED FOR CROSSWALKS ON CONCRETE.
- 8. ALL STORMWATER RUNOFF GENERATED FROM A SITE SHALL BE ADEQUATELY TREATED BEFORE DISCHARGE. SEE PROPOSED FUTURE DETENTION FACILITY.
- 9. UTILITY EXTENSIONS ARE AT NO COST TO THE CITY.
- 10. SITE UTILITIES SERVING THE SITE SHALL BE PLACED UNDERGROUND.

 11. PRIOR TO THE ISSUANCE OF ANY PERMIT FOR A LAND DEVELOPMENT ACTIVITY
- REQUIRING A STORMWATER MANAGEMENT SYSTEM HEREUNDER AND FOR WHICH THE CITY REQUIRES ONGOING MAINTENANCE, THE APPLICANT OR OWNER OF THE SITE MUST, UNLESS AN ON-SITE STORMWATER MANAGEMENT FACILITY OR PRACTICE IS DEDICATED TO AND ACCEPTED BY THE CITY, EXECUTE AN INSPECTION AND MAINTENANCE AGREEMENT, AND/OR A CONSERVATION EASEMENT, IF APPLICABLE, THAT SHALL BE BINDING ON ALL SUBSEQUENT OWNERS OF THE SITE.
- 12. AS PART OF THE INSPECTION AND MAINTENANCE AGREEMENT, A SCHEDULE SHALL BE DEVELOPED FOR WHEN AND HOW OFTEN ROUTINE INSPECTION AND MAINTENANCE WILL OCCUR TO ENSURE PROPER FUNCTION OF THE STORMWATER MANAGEMENT FACILITY OR PRACTICE. THE AGREEMENT SHALL ALSO INCLUDE PLANS FOR ANNUAL INSPECTIONS TO ENSURE PROPER PERFORMANCE OF THE FACILITY BETWEEN SCHEDULED MAINTENANCE AND SHALL ALSO INCLUDE REMEDIES FOR THE DEFAULT THEREOF.
- 13. EXISTING UTILITY POLES, TELECOM BOXES, TRANSFORMERS, AND LIGHT POLES WITHIN THE PARCEL ARE SUBJECT TO REMOVAL OR RELOCATION IF NECESSARY.



CIVIL ENGINEERING COA NO. LSF 000995

CONSTRUCTION LANDSCAPE ARCHITECT

LAND PLANNING

FALCON DESIGN CONSULTANTS

STOCKBRIDGE OFFICE
235 CORP. CTR. DR., STE 200
STOCKBRIDGE, GEORGIA 30281
Ph (770)389-8666 - Fax (770)389-8656

NEWNAN OFFICE
40 GREENWAY CT., STE A NEWNAN, GEORGIA 30265
Ph. (770) 755-7978

LAND SURVEYING COA NO. LSF 000995

COA NO. LSF 000995

LANDSCAPE
ARCHITECT

LAND PLANDSCAPE
ARCHITECT

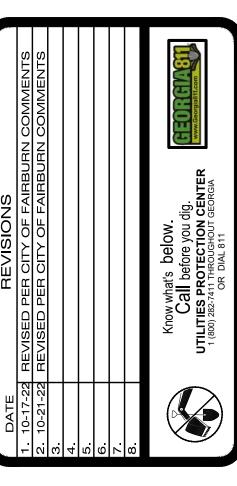
LAND PLANDSCAPE
ARCHITECT

STOCKBRIDGE OFFICE
235 CORP. CTR. DR., STE 200
STOCKBRIDGE, GEORGIA 30281
Ph (770)389-8666 - Fax (770)389-8656

NEWNAN OFFICE
40 GREENWAY CT., STE A NEWNAN, GEORGIA 30265
Ph. (770) 755-7978

WWW.fdc-llc.com

MINI STORAGE DEPOT
AT FAIRBURN
LOCATED IN:



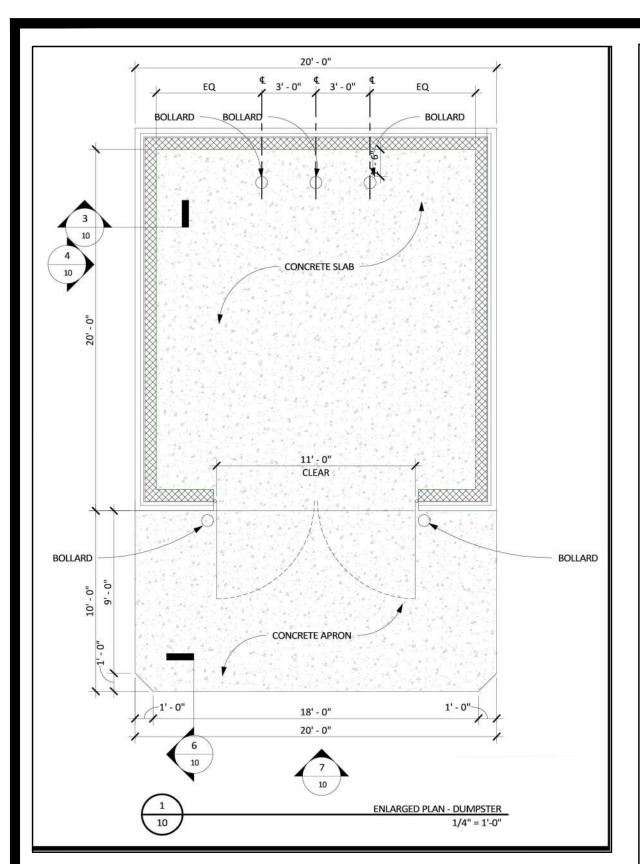
DATE: 9/15/22
SCALE: 1" = 50'
PROJ NUMBER: 320.002
DRAWN BY: AW
REVIEWED BY: REVISED BY: #

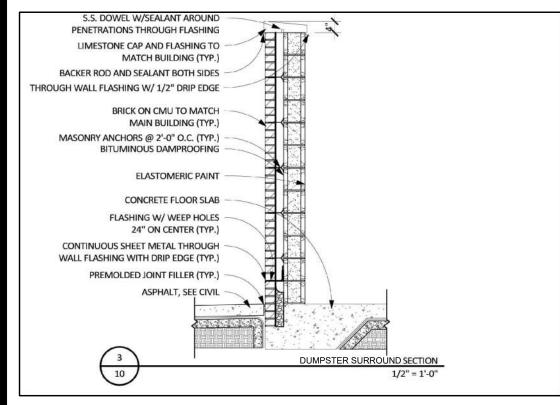
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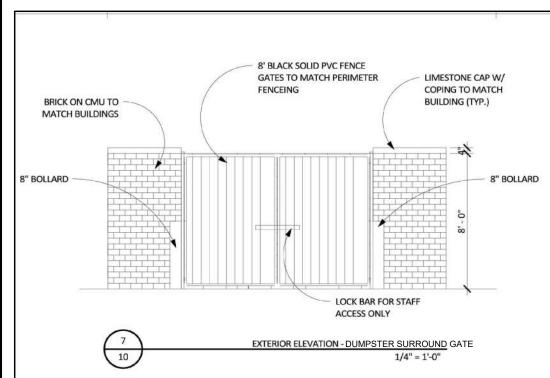
IIS DOCUMENT IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE OF THE REGISTRANT ACROSS THE REGISTRANT'S SEAL.

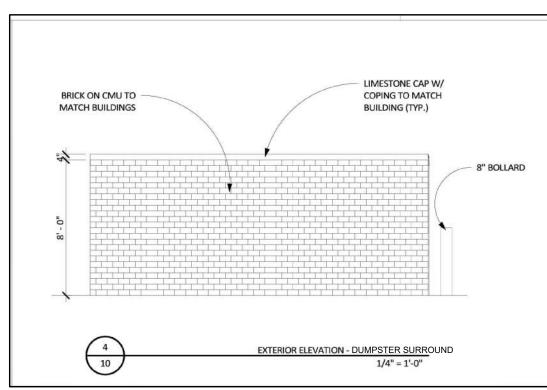
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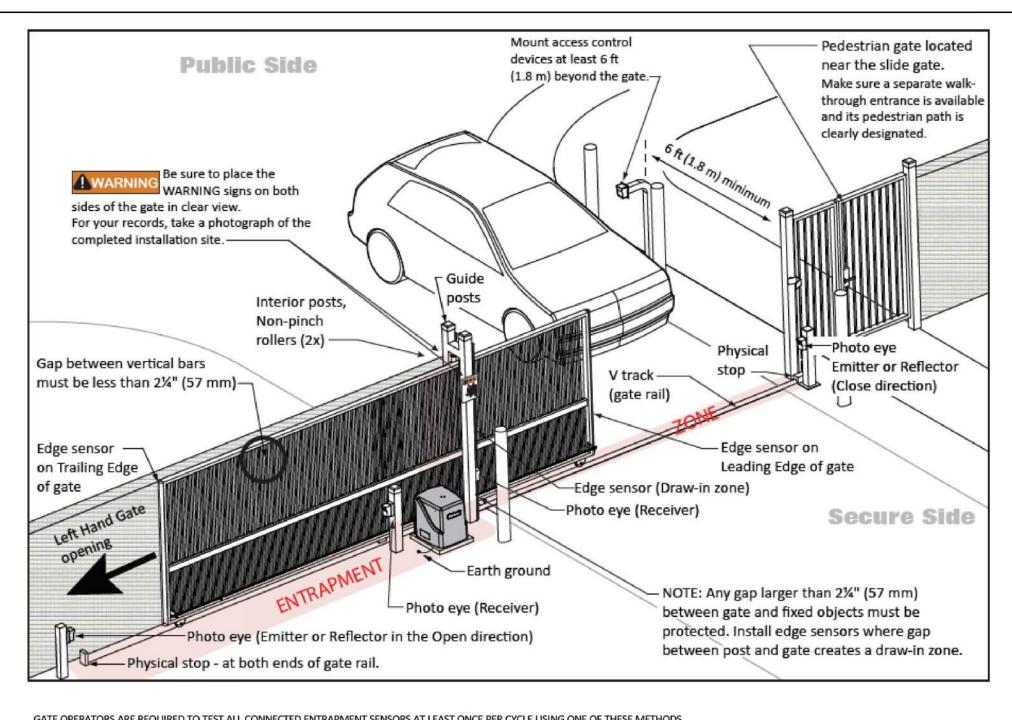








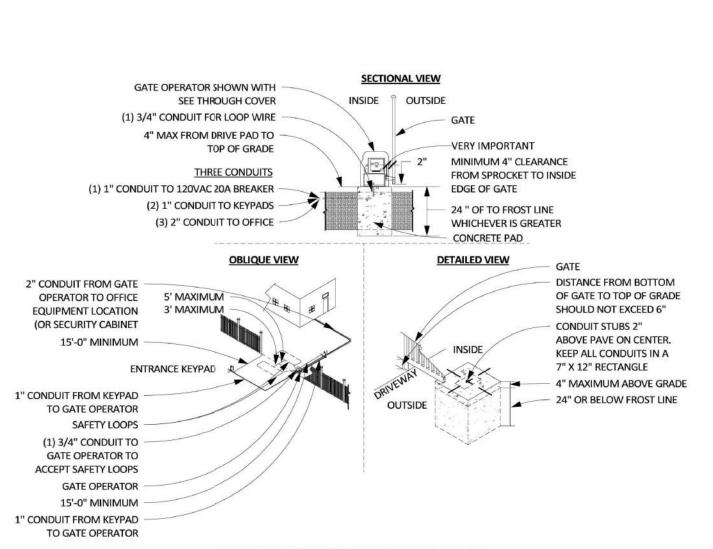
NOTE: DUMPSTER WALLS TO BE DETERMINED UPON FINAL DESIGN OF BUILDING FACADE.



GATE OPERATORS ARE REQUIRED TO TEST ALL CONNECTED ENTRAPMENT SENSORS AT LEAST ONCE PER CYCLE USING ONE OF THESE METHODS.

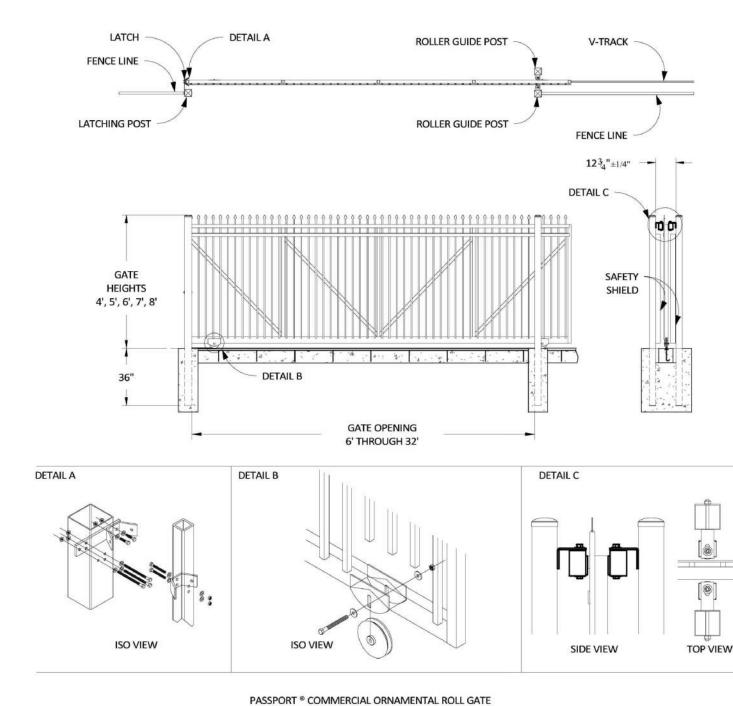
OPERATORS USE DIFFERENT MONITORING METHODS DEPENDING ON THE MODEL OR CONTROL BOARD. CONSULT OPERATOR MANUALS FOR PRECISE DETAILS.

- AUTOMATED SLIDE GATES REQUIRE A MINIMUM OF TWO EXTERNAL ENTRAPMENT PROTECTION SENSORS ONE IN EACH DIRECTION OF TRAVEL. OTHER SENSORS MAY ALSO BE REQUIRED. AUTOMATED SWING GATES REQUIRE A MINIMUM OF TWO EXTERNAL ENTRAPMENT PROTECTION SENSORS, ONE IN EACH DIRECTION, UNLESS THERE IS NO RISK OF ENTRAPMENT IN ONE DIRECTION.
- OTHER SENSORS MAY ALSO BE REQUIRED. SENSORS CAN BE CONTACT (I.E. EDGE SENSORS) OR NON-CONTACT (I.E. PHOTO EYES).
- SENSORS MUST BE APPROVED FOR USE WITH THE INSTALLED GATE OPERATOR, TYPICALLY OUTLINED IN THE GATE OPERATOR MANUAL. UL 325 SETS THE MINIMUM STANDARD OF SAFETY; INSTALLERS MUST VERIFY THAT INSTALLATION SITES COMPLY WITH ASTM F2200 (E.G. SITE SURVEYS, USAGE CLASS, GATE TYPES, ETC.).
- IT IS THE INSTALLER'S RESPONSIBILITY TO ASSESS A GATE INSTALLATION FOR ENTRAPMENT RISKS AND INSTALL ALL APPROPRIATE EXTERNAL ENTRAPMENT PROTECTION SENSORS TO ADDRESS ALL POTENTIAL ENTRAPMENT ZONES. NICE/HYSECURITY



NOTE: ACTUAL SLIDE GATE NOT SHOWN ON THIS DRAWING SLIDE GATE OPERATOR CONCRETE AND DETAIL PROVIDED AND INSTALLED BY GENERAL CONTRACTOR NOTE: CONDUIT MUST BE INSTALLED

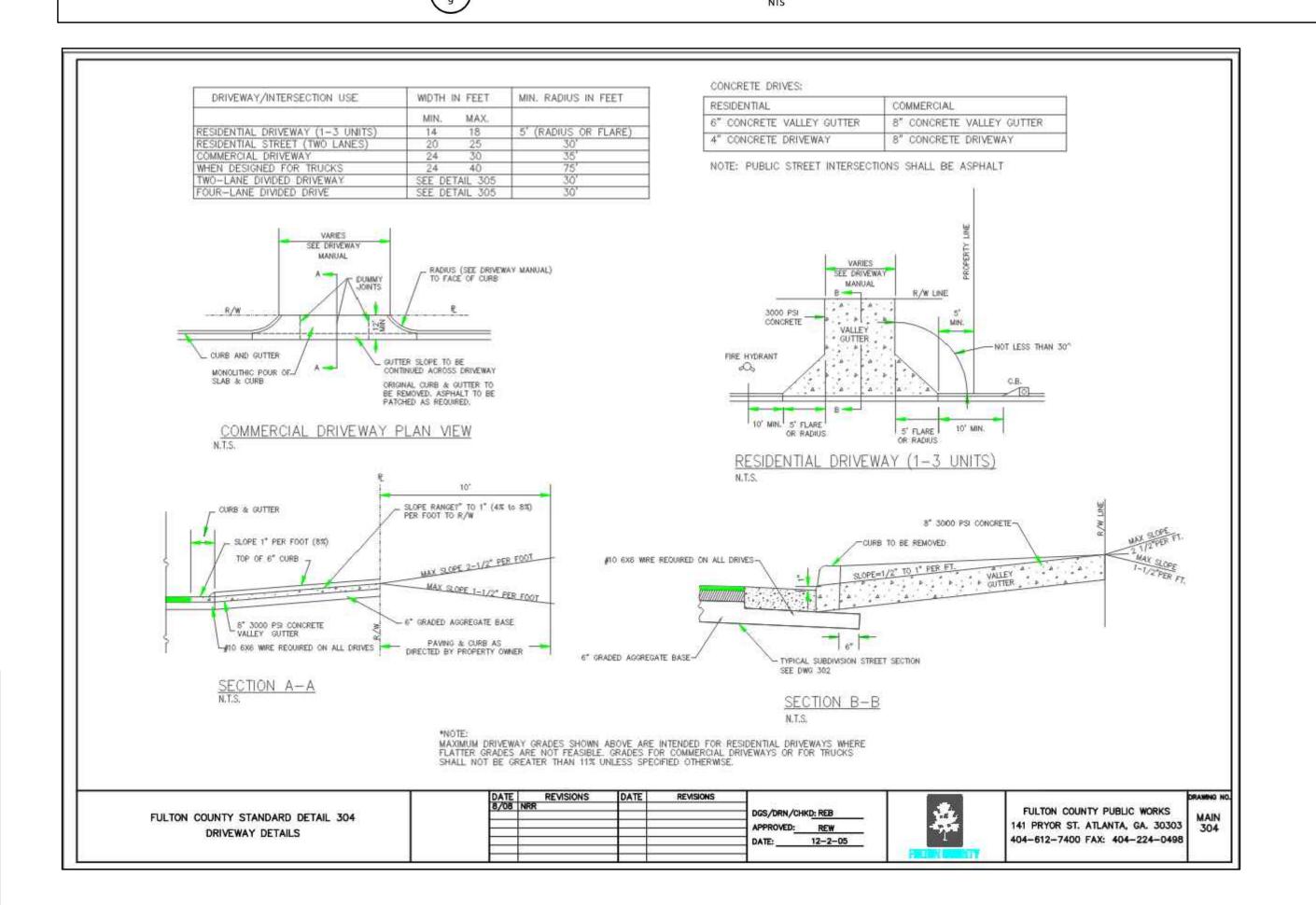
AND CENTERED IN FORM BEFORE PAD IS POURED > LOCATE ONE SIDE OF THE GATE OPERATOR PAD PARALLEL ALONG THE INSIDE EDGE OF THE GATE AND ONE SIDE PARALLEL TO THE DRIVEWAY AND 24" AWAY FROM THE EDGE OF THE DRIVEWAY. THE PAD SHOULD BE 2" BELOW THE BOTTOM OF THE GATE. THE MAXIMUM DISTANCE FROM THE BOTTOM OF THE GATE TO THE GRADE IS 6". NOTE: SOME APPLICATIONS REQUIRE A CURB/GUTTER STRUCTURE ALONG THE DRIVE. THE TYPICAL CURB COULD INCREASE THE GATE TO GRADE DISTANCE TO 12-14". THIS DISTANCE EXCEEDS THE MAXIMUM SECURITY SPECIFICATIONS AND CAN ALLOW INTRUDERS TO PASS UNDER. >POSITION CONDUIT -FORM AND POUR GATE OPERATOR PAD 24" X 24" X 24-36" IN DEPTH. 4" ABOVE GRADE, 2500 PSO CONCRETE.

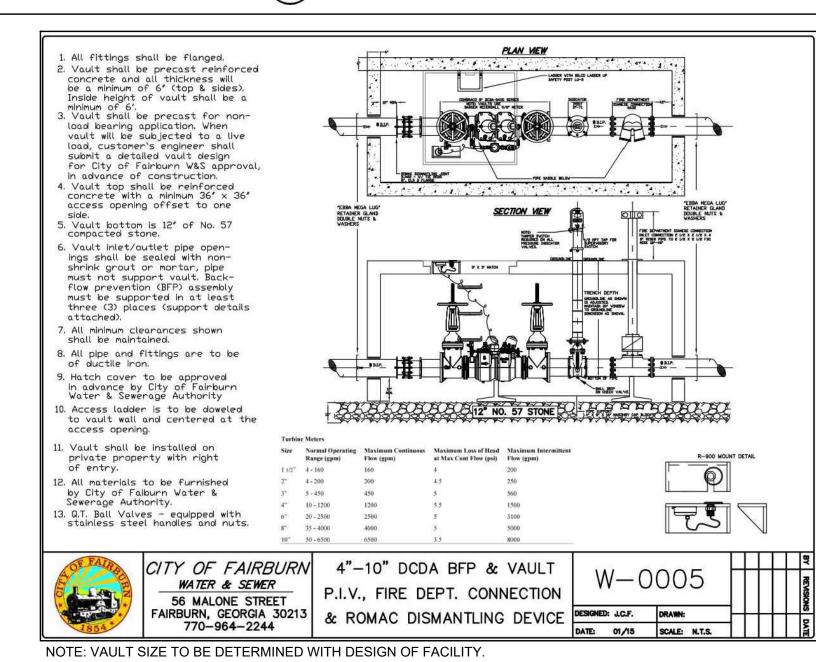


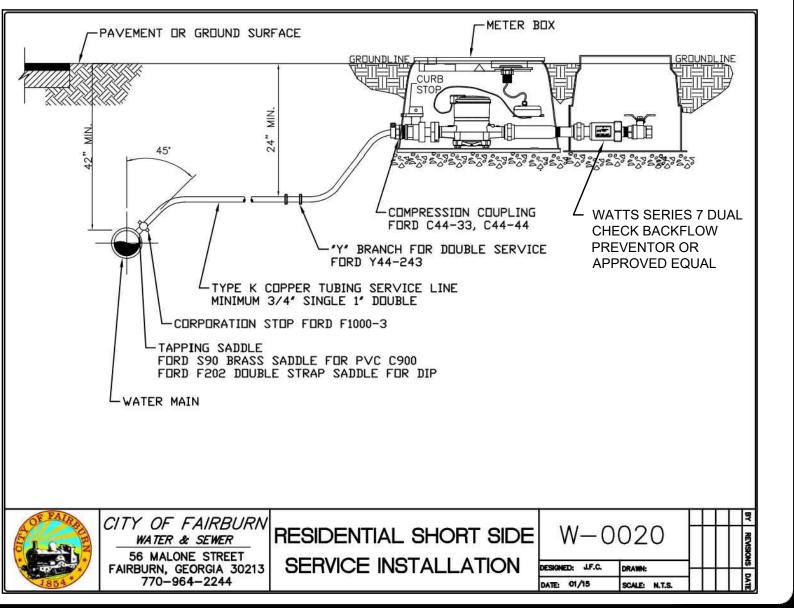
ORNAMENTAL PICKETS: 1" SQUARE TO MATCH AEGUS II FENCING TOP RAIL(S), UPRIGHTS AND DIAGONALS BRACES: 2" SQUARE BOTTOM RAIL: 2" X 4" (NOTCHED & PLATED FOR V-TRACK WHEELS) ROLL GATE HARDWARE: KIT #PGKOD AVAILABLE IN PROFILES OF 2-RAIL, 3-RAIL & 3-RAIL W/RINGS

VALUES SHOWN ARE NOMINAL AND NOT TO BE USED FOR INSTALLATION PURPOSES. SEE PRODUCT SPECIFICATION FOR INSTALLATION REQUIREMENTS.

DECORATIVE SLIDING GATE DETAIL - AMERISTAR PASSPORT COMMERCIAL CLASSIC

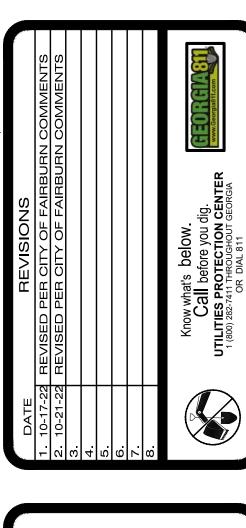


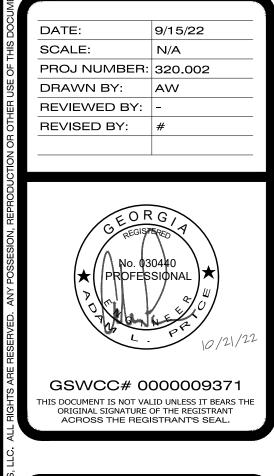




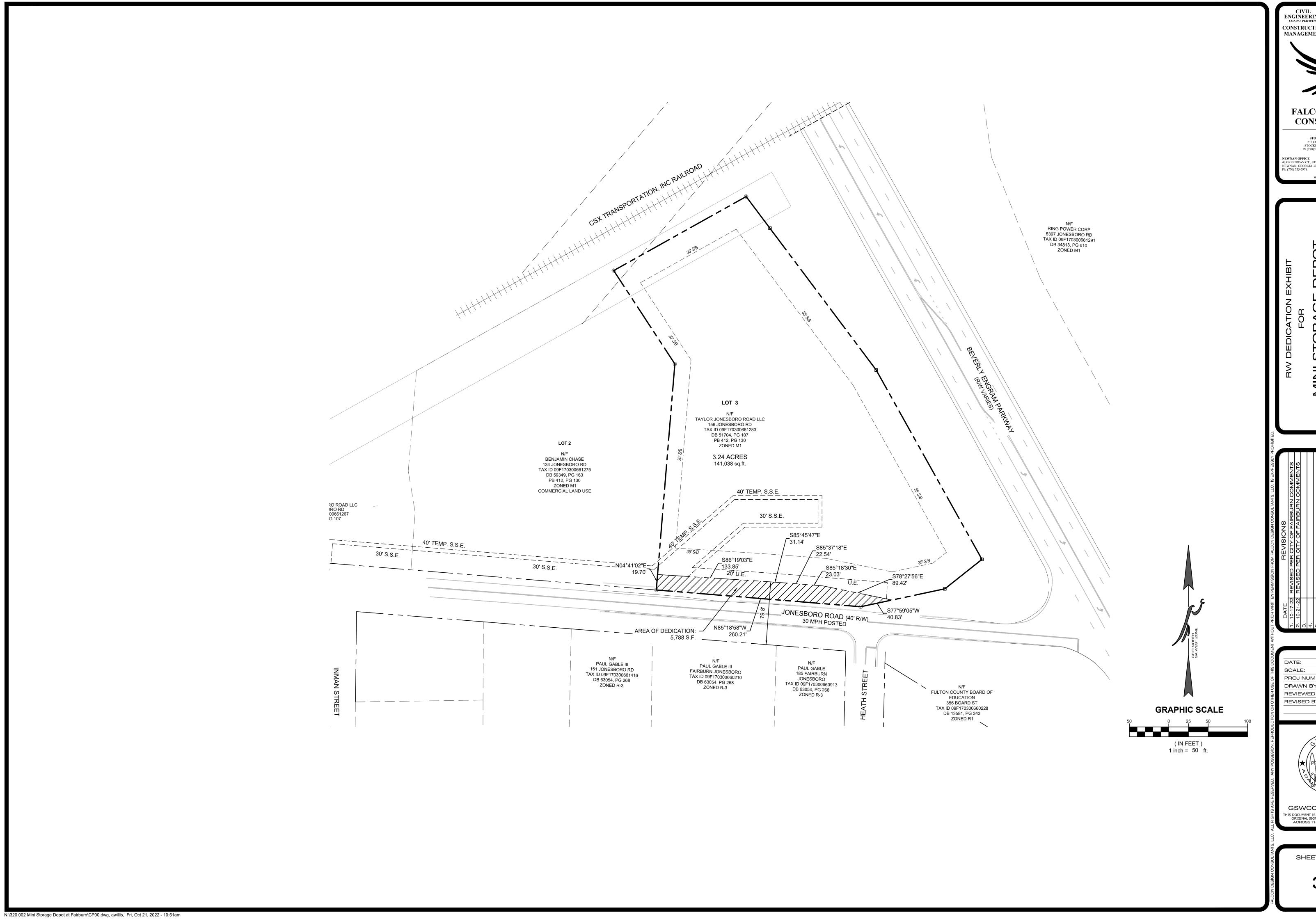








SHEET NUMBER



CIVIL ENGINEERING COA NO. PER 004790 LAND SURVEYING COA NO. LSF 000995 CONSTRUCTION LANDSCAPE MANAGEMENT ARCHITECT LAND PLANNING **FALCON DESIGN CONSULTANTS** STOCKBRIDGE OFFICE 235 CORP. CTR. DR., STE 200 STOCKBRIDGE, GEORGIA 30281 Ph (770)389-8666 - Fax (770)389-8656

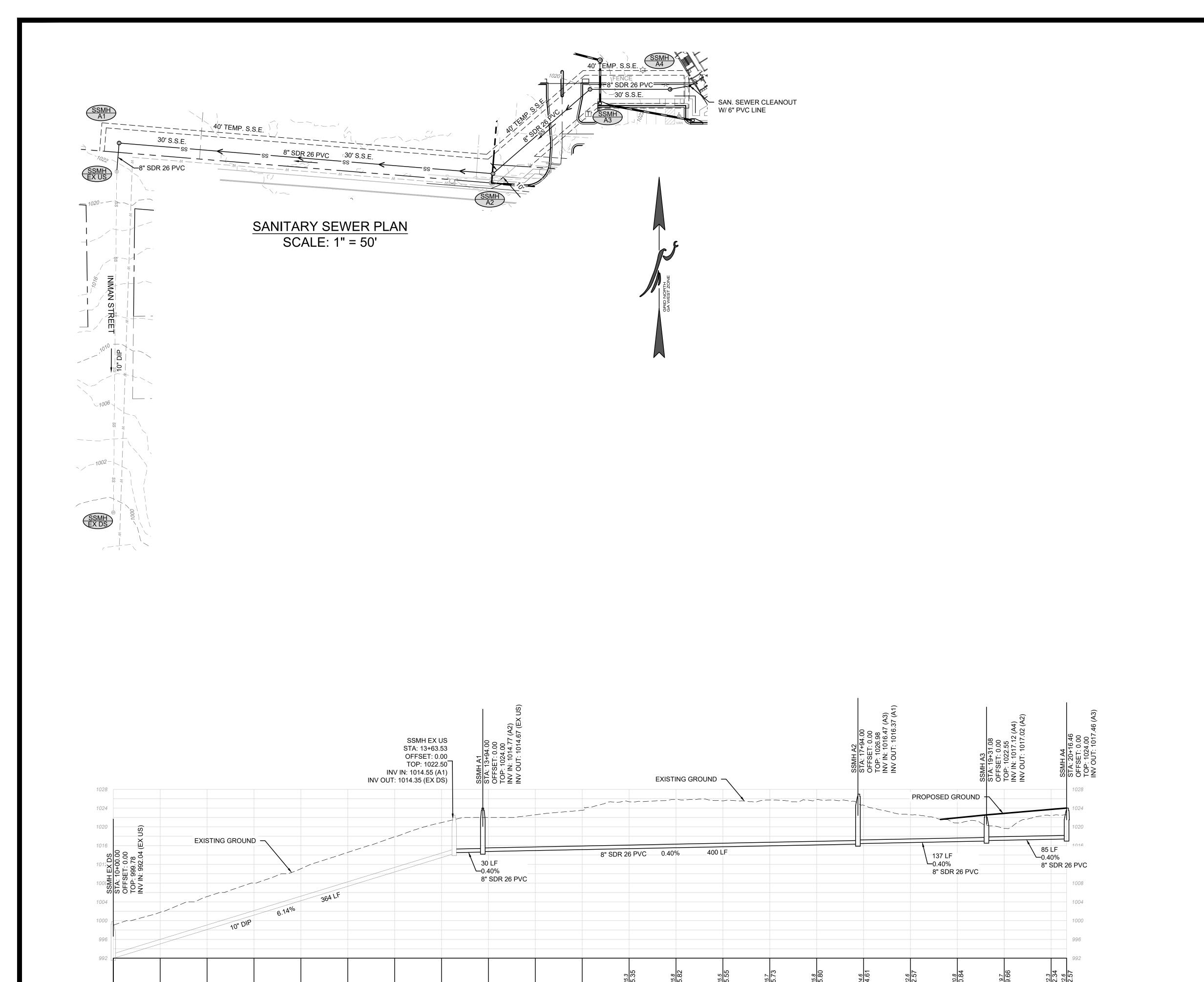
9/15/22 1" = 50' PROJ NUMBER: 320.002 DRAWN BY: AW REVIEWED BY: REVISED BY: #



GSWCC# 0000009371 THIS DOCUMENT IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE OF THE REGISTRANT ACROSS THE REGISTRANT'S SEAL.

SHEET NUMBER

3.0



PROPOSED SEWER

11+00

N:\320.002 Mini Storage Depot at Fairburn\CP00.dwg, awillis, Fri, Oct 21, 2022 - 10:51am

17+00

CIVIL ENGINEERING COANO. PER 004790 SURVEYING COANO. LSF 000995

CONSTRUCTION LANDSCAPE ARCHITECT

LAND PLANNING

FALCON DESIGN CONSULTANTS

STOCKBRIDGE OFFICE
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STOCKBRIDGE, GEORGIA 30281
Ph (770)389-8666 - Fax (770)389-8656

NEWNAN OFFICE
40 GREENWAY CT., STE A NEWNAN, GEORGIA 30265
Ph. (770) 755-7978

WWW.fdc-llc.com

E DEPOT
JRN
IN:
H DISTRICT

N. SEWER PROFIL
FOR

Know what's below.

Call before you dig.

Call before you dig.

DATE:	9/15/22
SCALE:	1" = 50'
PROJ NUMBER:	320.002
DRAWN BY:	AW
REVIEWED BY:	_
REVISED BY:	#
E O R	G_{\prime}



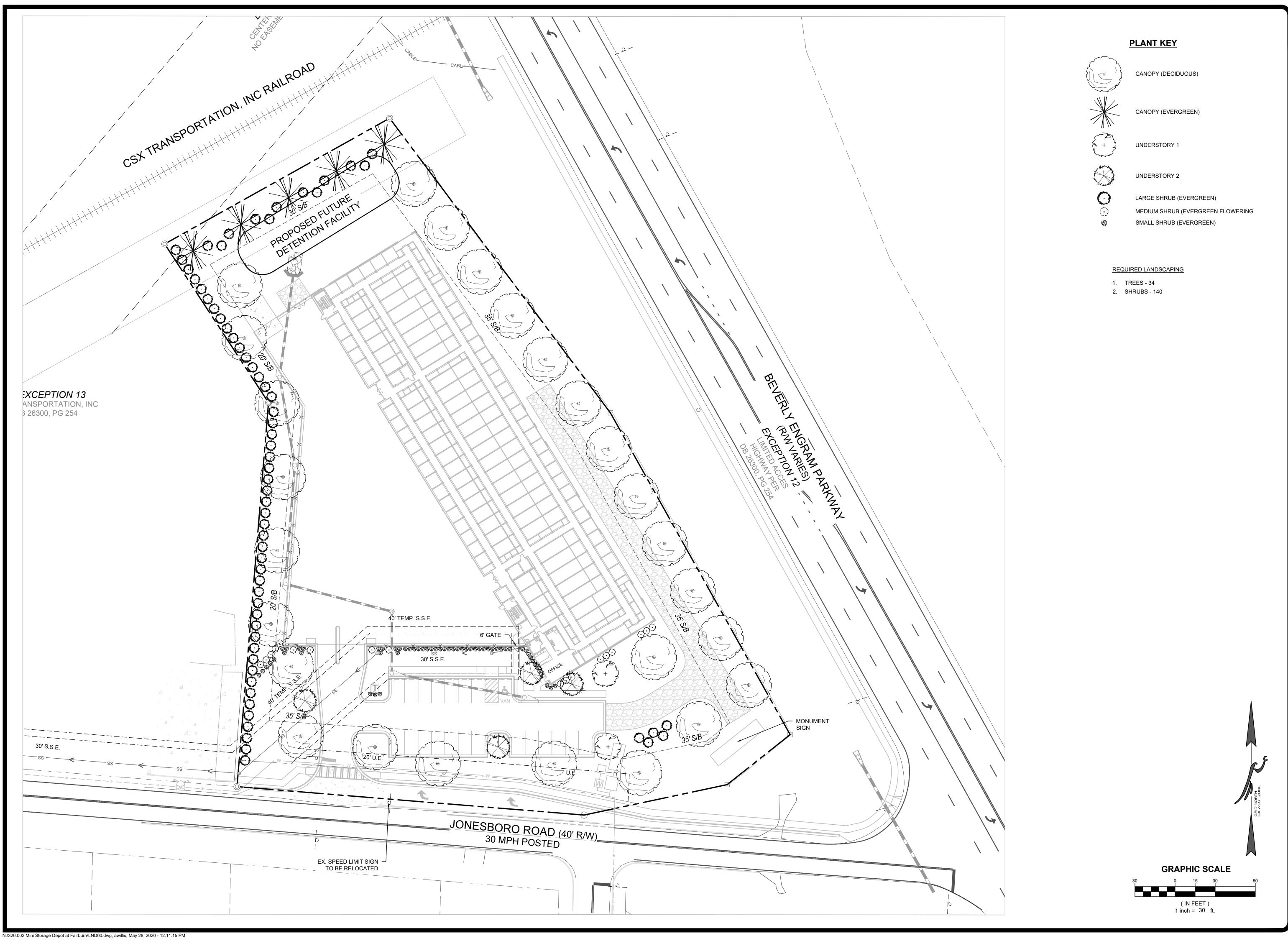
SHEET NUMBER

4.0

GRAPHIC SCALE

50
0
25
50
100
RZ.)
RT.)
10
0
5
10
20
(IN FEET.)

20+0020+16



CIVIL ENGINEERING COANO. PER 004790 COANO. LIST 000995

CONSTRUCTION LANDSCAPE ARCHITECT

LAND PLANNING

FALCON DESIGN CONSULTANTS

STOCKBRIDGE OFFICE 235 CORP. CTR. DR., STE 200 STOCKBRIDGE, GEORGIA 30281 Ph. (770) 755-7978

NEWNAN OFFICE 40 GREENWAY CT., STE A NEWNAN, GEORGIA 30265 Ph. (770) 755-7978

CONSULTANTS

LAND LANDSCAPE ARCHITECT

LAND PLANNING

STOCKBRIDGE OFFICE 235 CORP. CTR. DR., STE 200 STOCKBRIDGE, GEORGIA 30281 Ph. (770) 389-8666 Fax (770) 389-8656

NEWNAN OFFICE CUMMING OFFICE 500 PIRKLE FERRY RD., STE C CUMMING, GEORGIA 30040 Ph. (678) 807-7100 WWW.fdc-llc.com

AINI STORAGE
AT FAIRBUI
LOCATED IN
CITY OF FAIRBU

No-21-22 REVISED PER CITY OF FAIRBURN COMMENTS

IO-21-22 REVISED PER CITY OF FAIRBURN COMMENTS

Know what's below.

Call before you dig.

Call before you dig.

UTILITIES PROTECTION CENTER

1 (800) 282-7411 THROUGHOUT GEORGIA

OR DIAL 811

DATE: 9/15/22

SCALE: 1" = 30'

PROJ NUMBER: 320.002

DRAWN BY: JDL

REVIEWED BY: JDL

REVISED BY:

No. 030440
PROFESSIONAL

ROY

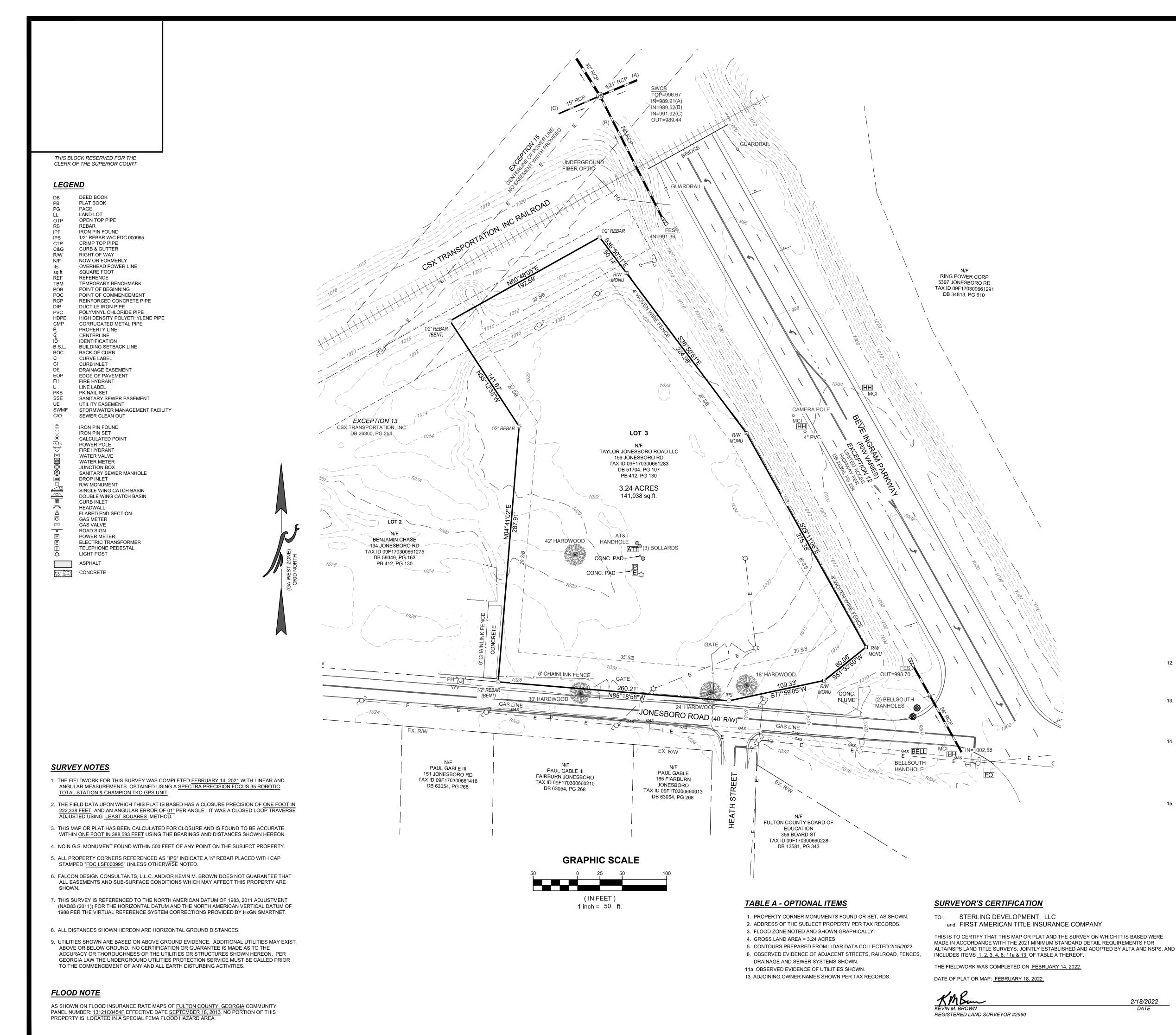
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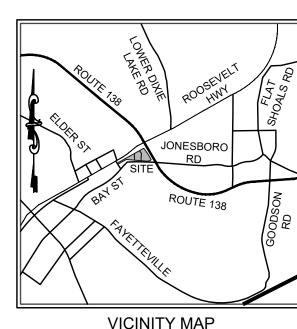
GSWCC# 000009371

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SHEET NUMBER

5.0





VICINITY MAP

RECORD DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 66 OF THE 9F DISTRICT OF FULTON COUNTY, GEORGIA, AND BEING SHOWN AS LOT 3 (CONTAINING 3.238 ACRES) ON THAT CERTAIN PLAT FOR TAYLOR JONESBORO ROAD, LLC, CERTIFIED BY JOHN D. TURNER, GEORGIA REGISTERED LAND SURVEYOR NUMBER 2795 OF TURNER & ASSOCIATES LAND SURVEYORS, P.C., DATED AUGUST 1, 2018, AND RECORDED IN PLAT BOOK 412, PAGE 130, IN THE OFFICE OF THE CLERK OF SUPERIOR COURT OF FULTON COUNTY, GEORGIA.

BEING A PORTION OF THE FOLLOWING:

(A) PROPERTY CONVEYED IN LIMITED WARRANTY DEED BETWEEN TAYLOR GAS, INC., A GEORGIA CORPORATION, A/K/A TAYLOR GAS, INCORPORATED AND JOHN C. TAYLOR AND TAYLOR JONESBORO ROAD, LLC, A GEORGIA LIMITED LIABITLIY COMPANY, DATED SEPTEMBER 25, 2012, FILED FOR RECORD SEPTAMBER 28, 2012, AND RECORDED IN DEED BOOK 51704, PAGE 107, FULTON COUNTY, GEORGIA RECORDS, DESCRIBED BELOW:

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 66 OF THE 9-F DISTRICT OF FULTON COUNTY, GEORGIA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON PIN ON THE NORTH RIGHT OF WAY OF JONESBORO ROAD FIVE HUNDRED TWENTY ONE AND SEVEN TENTHS (521.7) FEET EAST OF ITS INTERSECTION WITH THE SOUTHEAST RIGHT OF WAY OF THE A&WP RAILROAD, AS MEASURED ALONG THE NORTH RIGHT OF WAY OF JONESBORO ROAD; RUNNING THENCE NORTH 13 DEGREES 04 MINUTES WEST THREE HUNDRED FOUR AND NINE TENTHS (304.9) FEET TO AN IRON PIN ON THE SOUTHEAST RIGHT OF WAY OF THE A&WP RAILROAD; RUNNING THENCE NORTH 59 DEGREES 16 MINUTES EAST ALONG THE SOUTHEAST RIGHT OF WAY OF THE A&WP RAILROAD FIVE HUNDRED SEVENTY SEVEN AND FIVE TENTHS (577.5) FEET TO AN IRON PIN; RUNNING THENCE SOUTH 13 DEGREES 32 MINUTES EAST SIX HUNDRED FORTY ONE AND TWO TENTHS (641.2) FEET TO AN IRON PIN ON THE NORTH RIGHT OF WAY OF JONESBORO ROAD; RUNNING THENCE NORTH 86 DEGREES 54 MINUTES WEST ALONG THE NORTH RIGHT OF WAY OF JONESBORO ROAD FIVE HUNDRED SEVENTY EIGHT AND FOUR TENTHS (578.4) FEET TO THE POINT OF BEGINNING, BEING A 6 ACRE TRACT AS SHOWN ON SURVEY FOR TAYLOR GAS, INC. BY BUSH, STEED & BOYD, INC., SURVEYORS, DATED AUGUST 13, 1974, REVISED

LESS & EXCEPT PROPERTY CONVEYED IN RIGHT OF WAY DEED FROM TAYLOR GAS, INC., TO THE DEPARTMENT OF TRANSPORTATION, DATED JANUARY 20, 1982, FILED FOR RECORD JANUARY 22, 1982, AND RECORDED IN DEED BOOK 8045, PAGE 190, AFORESAID RECORDS.

(B) PROPERTY CONVEYED IN QUITCLAIM DEED BETWEEN CSX TRANSPORTATION, INC., A VIRGINIA CORPORATION AND TAYLOR GAS, INCORPORATED, DATED AUGUST 24, 1998, FILED MARCH 16, 1999, AND RECORDED IN DEED BOOK 26300, PAGE 254, FULTON COUNTY, GEORGIA RECORDS, DESCRIBED BELOW:

A STRIP OF LAND SITUATE IN LAND LOT 66, DISTRICT 9-F, CITY OF FAIRBURN, FULTON COUNTY, GEORGIA, MORE FULLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE POINT OF INTERSECTION OF THE NORTHEAST LINE OF JONESBORO ROAD WITH GRANTOR'S SOUTHEASTERLY PROPERTY LINE, BEING 100 FT. SOUTHEAST OF AND PERPENDICULAR TO THE CENTERLINE OF GRANTOR'S MAIN LINE RAILROAD TRACK; THENCE NORTH 45 DEGREES 14 MINUTES 52 SECONDS WEST 51.69 FT. TO A POINT 50 FT. SOUTHEAST OF THE CENTERLINE OF THE MAIN LINE RAILROAD TRACK; THENCE NORTH 59 DEGREES 25 MINUTES 46 SECONDS EAST PARALLEL WITH AND DISTANT 50 FT. SOUTHEAST OF THE CENTERLINE OF THE RAILROAD TRACK A DISTANCE OF 1,299.50 FT. TO A POINT; THENCE SOUTH 30 DEGREES 34 MINUTES 14 SECONDS EAST A DISTANCE OF 50 FT. TO GRANTOR'S SOUTHEASTERLY PROPERTY LINE; THENCE WITH GRANTOR'S PROPERTY LINE SOUTH 59 DEGREES 25 MINUTES 46 SECONDS WEST 1,286.41 FT. TO THE POINT OF BEGINNING: CONTAINING 1.434 ACRES, MORE OR LESS, ACCORDING TO A SURVEY AND PLAT THEREOF BY A. S. GIOMETTI, REGISTERED LAND SURVEYOR, A.S. GIOMETTI & ASSOCIATES, INC., DATED MARCH 12. 1998,

FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE SCHEDULE B - SECTION 2 - EXCEPTIONS

Commitment No.: NCS-1106608-INDY EFFECTIVE DATE: JANUARY 3, 2022 at 8:00 AM

12. Conveyance of access rights contained in Right of Way Deed from Taylor Gas, Inc. to Department of Transportation, dated January 20, 1982, filed for record January 22, 1982, and recorded in Deed Book 8045, Page 190, Fulton County, Georgia records.

RIGHT OF WAY ALONG BEVE INGRAM PARKWAY HAS LIMITED ACCESS.

INCORPORATED HEREIN BY REFERENCE.

 Covenants and Restrictions contained in Quitclaim Deed from CSX Transportation, Inc., to Taylor Gas, Incorporated, dated August 24, 1998, filed for record March 16, 1999, and recorded in Deed Book 26300, Page 254, aforesaid records.

EASEMENT AFFECTS SUBJECT PROPERTY AS SHOWN HEREON.

- 14. Easements acquired pursuant to Easement Deed by Court Order in Settlement of Landowner Action, entered in Civil Action File No. 3:02-CV-055-WBH, United States District Court, Northern District of Georgia, Newnan Division, styled George L. Tedder and Elizabeth C. Tedder, et al. v Wiltel Communications, LLC (f/k/a Williams Communications, Inc.), Sprint Communications Company, L.P.; and Qwest Communications Company, LLC, dated February 8, 2013, filed for record March 11, 2013, and recorded in Deed Book 52367, Page 171, aforesaid records.
- EASEMENT AFFECTS SUBJECT PROPERTY BY REFERENCE TO PARCEL NUMBER 09F-1703-0066-18-3.

 EASEMENT DOES NOT CONTAIN ANY PLOTTABLE EASEMENT DESCRIPTIONS.
- 15. Matters shown on plat recorded in Plat Book 412, Page 130, aforesaid records.
- RIGHT OF WAY ALONG BEVE INGRAM PARKWAY HAS LIMITED ACCESS.

 CSX TRANSPORTATION INC EASEMENT AFFECTS SUBJECT PROPERTY AND IS SHOWN HEREON.

 POWER LINE EASEMENT AFFECTS PORTION OF SUBJECT PROPERTY. NO EASEMENT WIDTH PROVIDED.

 SETBACKS AFFECT AS SHOWN.

SURVEYOR'S CERTIFICATION

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON.

RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND.

FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 45.6.67.

KEVIN M. BROWN
REGISTERED LAND SURVEYOR #2960

2/18/2022 DATE



JAD T

ONESBORO RO

THIS PLAT WAS PREPARED FOR THE SLUSIVE USE OF THE PERSON, PERSONS, OR ENTITY NAMED IN THE CERTIFICATE HEREON. SAID CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PERSON ITHOUT AN EXPRESS RECERTIFICATION THE SURVEYOR NAMING SAID PERSON.

DATE: 02-18-2022

SCALE: 1" = 50'

FILE NUMBER: 320.002

DRAWN BY: K. BROWN

REVIEWED BY: A MURDAUGH



COA# LSF 000995

DOCUMENT IS NOT VALID UNLESS IT BEARS ORIGINAL SIGNATURE OF THE REGISTRANT ACROSS THE REGISTRANT'S SEAL.

SHEET NUMBER

6.0



Attachment: South Park Building C Concept Plat

CITY OF FAIRBURN PLANNING AND ZONING COMMISSION AGENDA ITEM

SUBJECT: CONCEPT FLA	AI 2022030CF SOUTH FARK	BUILDING C
() AGREEMENT () ORDINANCE	() POLICY / DISCUSSION () RESOLUTION	() CONTRACT (X) OTHER
Submitted: 10/25/22	Public Hearing: N/A	City Council: N/A
DEPARTMENT: Planning	and Zoning Office	
BUDGET IMPACT: N/A		
PUBLIC HEARING: ()	Yes (X) No	
PURPOSE: For the Plannin Building C.	ng and Zoning Commission to rev	view the concept plat for South Park
·	board approved the concept plat for	rk development that runs along Whitewater r buildings A and B. There are four (4)
FACTS AND ISSUES: The	proposal is to construct a 253,800 s	square foot warehouse.
	t plat and finds that the plat meets to as the minimum lot size, setback	the preliminary plat subdivision regulations ks, and buffer standards.
RECOMMENDED ACTIO Building C Concept Plat.	N: For the Planning and Zoning	Commission to approve the South Park

SOUTH PARK BUILDING C

FULTON COUNTY

PROJECT INFORMATION ===

SITE DATA ZONING USE: M-2

TOTAL ACREAGE: 19.6 **DISTURBED ACREAGE: 18.6**

FULTON COUNTY, GA

FRONT: 40 ft. SIDE: 20 ft. BACK: 30 ft.

BUILDING DATA

LOT COVERAGE: 29.59%

PARKING DATA REQUIRED PARKING

PARKING PROVIDED:

TOTAL BUILDING SQUARE FOOTAGE:

BUILDING C: 253,800 sq. ft.

TOTAL IMPERVIOUS AREA: 12.5 ACRES

EMPLOYEE: $\frac{1}{2500 \text{ SF}}$ < 150,000 SF = 60 SPACES

TRAILER: $\frac{1}{5000 \text{ SF}}$ = 51 SPACES REQUIRED

OFF STREET LAODING: 60 SPACES

TRAILER: 69 SPACES

UTILITY PROVIDERS WATER: CITY OF FAIRBURN SEWER: FULTON COUNTY

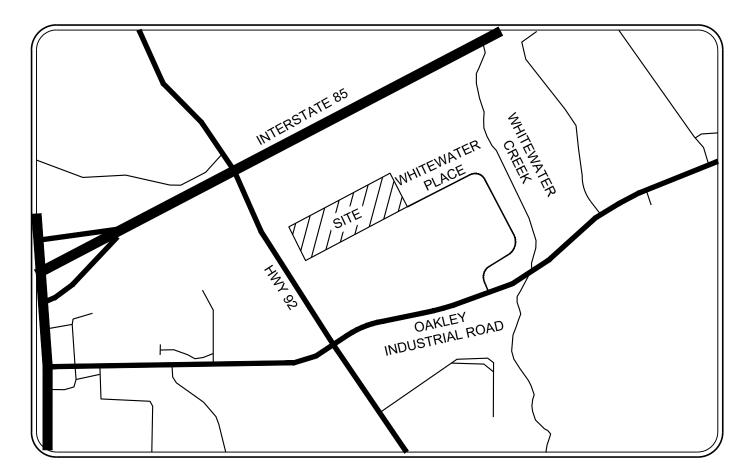
EMPLOYEE: 174 TOTAL SPACES INCLUDING 6 VAN ADA SPACES

OFF STREET LOADING: $1 + 3 + \frac{1}{10000 \text{ SF}} = 29 \text{ SPACES}$

LAND LOT 33 & 34; 9F DISTRICT

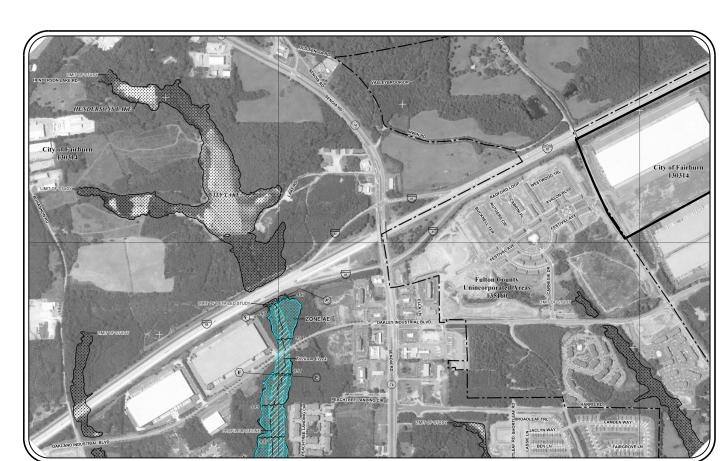
PARCEL #: 09F060000340553, 09F06000034099

CITY OF FAIRBURN

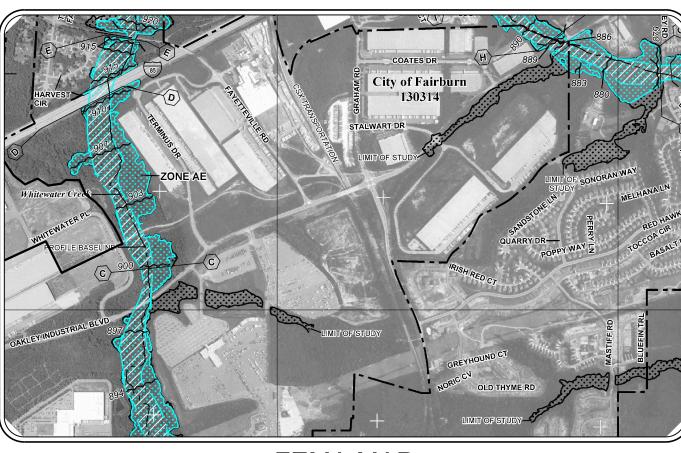


LOCATION MAP N.T.S.

GPS LOCATION OF SITE: 33.54919°N, -84.55934°E AND 33.54724°N, -84.56654°E



FEMA MAP



A PORTION OF THIS PROPERTY LIES IN THE FLOOD

HAZARD ZONE AE AS PER THE FULTON COUNTY F.I.R.M. NO.13121C062F DATED SEP 18, 2013 AND NO.

13121C0470F DATED SEP 18, 2013.

PROJECT DESCRIPTION

THE SITE WILL BE PREPARED FOR TWO WAREHOUSE FACILITIES. THIS WILL CONSIST OF, BUT, IS NOT LIMITED TO: AN UNDERGROUND UTILITY INSTALLATION, GRADING, PAVING, AND EROSION CONTROL. THE PROJECT WILL CONSIST OF TWO WAREHOUSE FACILITIES WITH A COMBINED AREA OF 460,760 SF, AUTO PARKING, UTILITIES, AND A STORM CONVEYANCE SYSTEM. DRIVEWAY CONNECTIONS WILL BE PROVIDED ON WHITEWATER PLACE AND ON PRIVATE PROPERTY.

1. THE DISTURBED ACREAGE OF THE SITE IS 18.6 ACRES.

- 2. NOTIFY INSPECTOR 24 HOURS PRIOR TO CONSTRUCTION.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY AND WAYS, MEANS AND METHODS OF CONSTRUCTION.
- 4. PROVIDE AND MAINTAIN OFF-STREET PARKING THROUGHOUT CONSTRUCTION IN AREAS DESIGNATED BY THE OWNER.
- PROVIDE NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC 19. PROVIDE SIGNING AND STRIPING ACCORDING TO LOCAL JURISDICTION CONTROL METHODS AS MAY BE NECESSARY WITHIN THE RIGHT-OF-WAY FOR THE

PROTECTION AND THE SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT

- 6. COMPLY WITH APPLICABLE STATE, FEDERAL, AND LOCAL CODES AND OBTAIN ALL NECESSARY LICENSES AND PERMITS.
- 7. PERFORM ALL WORK IN CITY, COUNTY, STATE, AND FEDERAL RIGHTS-OF-WAY IN STRICT CONFORMANCE WITH APPLICABLE STANDARDS AND SPECIFICATIONS OF THE APPROPRIATE GOVERNING AGENCIES.
- 8. CONFINE OFF-SITE ACTIVITIES TO EXISTING RIGHTS OF WAY AND EASEMENTS.
- 9. PERFORM ALL WORK IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER AND IN ACCORDANCE WITH THE BEST RECOGNIZED
- 10. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO COVER A COMPLETE PROJECT. READY TO USE. FURNISH AND INSTALL ALL ITEMS NECESSARY FOR A COMPLETE AND WORKABLE JOB.
- OWNER OR HIS REPRESENTATIVE MAY CAUSE THE WORK TO BE UNACCEPTABLE.

11. DEVIATIONS FROM THESE PLANS AND NOTES WITHOUT PRIOR CONSENT OF THE

- 12. THE TOPOGRAPHIC INFORMATION ON THESE PLANS IS TAKEN FROM FIELD SURVEYS PREPARED BY VALENTINO & ASSOCIATES, INC DATED 11/24/2021.
- 13. THE BOUNDARY INFORMATION ON THESE PLANS IS TAKEN FROM FIELD SURVEYS PREPARED BY VALENTINO & ASSOCIATES, INC DATED 11/24/2021.
- 14. PROJECT BENCHMARK: REBAR & CAP SET LOCATED AT WHITEWATER CREEK CUL-DE-SAC, EL. 941.83'.
- 15. VERIFY EXISTING TOPOGRAPHIC DATA, LOCATIONS OF EXISTING UTILITIES, AND ALL OTHER SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.

- 16. VERIFY BUILDING DIMENSIONS FROM ARCHITECTURAL DRAWINGS FOR FIELD
- 17. CHECK ALL BUILDING DIMENSIONS AND COORDINATE WITH THE ARCHITECTURAL
- 18. FURNISH AND MAINTAIN ANY AND ALL NECESSARY BARRICADES AROUND THE WORK AND PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
- SPECIFICATIONS.
- STRIPING AND TRAFFIC ARROWS, ON PAVEMENT AT LOCATIONS SHOWN. SEE PAVEMENT MARKING DETAIL.

20. PAINT PAVEMENT MARKING, INCLUDING STANDARD HANDICAP SYMBOLS, PARKING

- 21. PROVIDE BOLLARDS AT LOCATIONS SHOWN, AND AROUND TRANSFORMERS, GAS
- METERS, AND OTHER UTILITIES IN VULNERABLE TRUCK AREAS.
- 22. CALL UTILITIES PROTECTION CENTER 811.
- 23. THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES THAN THOSE SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN. VERIFY THE
- MADE TO EXISTING UTILITIES AT NO COST TO THE OWNER.
- 24. FIELD VERIFY LOCATION AND INVERTS OF EXISTING SANITARY SEWER FOR CONNECTION TO EXISTING SEWER SYSTEM.
- 25. COORDINATE WITH BUILDING PLUMBING PLANS TO ASSURE ACCURACY OF UTILITY CONNECTIONS AND COMPLIANCE WITH LOCAL CODES.
- 26. CONNECT TO EXISTING UTILITIES AND INSTALL UTILITIES IN COMPLIANCE WITH REQUIREMENTS OF APPROPRIATE JURISDICTIONAL AGENCIES.
- 27. INSTALL GATE VALVES IN HEAVY DUTY ROADWAY VALVE BOXES FOR ALL WATER
- 28. INSTALL HYDRANTS AND MAINS UNDER PRESSURE BEFORE ANY COMBUSTIBLE CONSTRUCTION IS STARTED.
- 29. ON-SITE FIRE PROTECTION SYSTEM LAYOUTS ARE SHOWN FOR LAND DISTURBANCE PERMIT INFORMATION ONLY. PROVIDE FINAL DESIGN AND PERMIT FROM THE FIRE PROTECTION CONTRACTOR. INSTALL VAULTS, METERS, MAINS, HYDRANTS, AND APPURTENANCES ONLY AFTER FIRE DEPARTMENT APPROVAL OF THE FIRE

PROTECTION CONTRACTOR'S PLANS.

- 30. ALL FIRE PROTECTION SYSTEMS SHALL COMPLY WITH NFPA SECTION 6.6 REGARDING SECTIONAL VALVES UNLESS OTHERWISE SPECIFIED BY THE FIRE PROTECTION
- 31. AT COMPLETION OF SEWER AND WATER CONSTRUCTION, SET ALL MANHOLES, VALVE BOXES, METERS AND APPURTENANCES FOR PROPER FINISH GRADE. NOTICEABLY STAKE AND FLAG. SITE UTILITY SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE ABOVE ITEMS UNTIL SYSTEM IS ACCEPTED BY OWNER.
- 32. ALL CONTRACTOR SHALL FOLLOW ALL MINIMUM RECOMMENDATIONS AND SPECIFICATIONS FOR SITE PREPARATION AND GRADING CONTAINED IN THE REPORT OF GEOTECHNICAL INVESTIGATION PREPARED BY CONTOUR ENGINEERING DATED
- 33. CUT AND FILL SLOPES 2:1 OR FLATTER (SEE PLANS).
- 34. UNLESS INDICATED OTHERWISE ON THE PLANS, REMOVE AND DISPOSE OF ALL EXISTING IMPROVEMENTS, TREES AND OTHER DEBRIS, WITHIN THE LIMITS OF THE WORK, FROM THE SITE AND DISPOSE OF IN AN APPROVED LANDFILL. DO NOT BURY ANY WASTE MATERIAL ON SITE.
- 35. REFER TO TREE PROTECTION PLANS FOR TREE CLEARING LIMITS.
- LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. REPAIR ALL DAMAGES 36. INSTALL ALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO CONSTRUCTION
 - REMOVE EXCESS TOPSOIL FROM SITE. PREPARE SUB GRADE FOR PAVEMENT AND CURBS AND BACK FILL CURBS AFTER CURB CONSTRUCTION.

37. STRIP AND STOCKPILE TOPSOIL. SPREAD 4" OF TOPSOIL ON LANDSCAPE AREAS AND

ALL LANDSCAPE ISLANDS.

39. PROVIDE AND INSTALL TOPSOIL IN DISTURBED AREAS TO BE GRASSED, TO INCLUDE

38. PROVIDE SUPPLY OF TOPSOIL FOR LANDSCAPE CONTRACTOR FOR INSTALLATION IN

- PAVEMENT SHOULDERS AND DETENTION AREAS.
- 40. GRASS AND RIP RAP ALL OPEN DRAINAGE SWALES AS NECESSARY TO CONTROL
- 41. INSTALL SEDIMENTATION AND EROSION CONTROL MEASURES PRIOR TO CLEARING GRADING AND DEMOLITION WORK. MAINTAIN ALL SEDIMENTATION AND EROSION CONTROL MEASURES UNTIL ACCEPTANCE OF THE SITE BY THE OWNER.

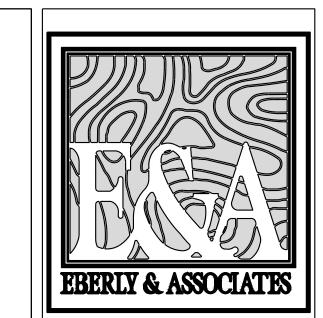
PROJECT NUMBERS				
MUNICIPALITY	PROJECT#	PROJECT NAME		
FULTON COUNTY	WRS22-002	SOUTH PARK BUILDING C		

	SHEET INDEX
Sheet Number	Sheet Title
C1.0	COVER SHEET & GENERAL NOTES
	SURVEY
C2.0-2.1	DEMOLITION PLAN NOTES
C3.0	OVERALL SITE PLAN
C3.1-3.1	LAYOUT & STAKING PLAN
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TP2.0	OVERALL PLANTING PLAN
TP2.1-2.4	PROPOSED PLANTING PLAN
TP3.0	LANDSCAPING DETAILS
TP3.1	LANDSCAPING CALCULATIONS

= LEVEL II CERTIFICATION WESLEY S. REED LEVEL II CERTIFIED DESIGN PROFESSIONAL CERTIFICATION NUMBER 0000073044 ISSUED: 01/22/2021 EXPIRES: 01/22/2024

> PRIMARY PERMITTEE) SEEFRIED INDUSTRIAL PROPERTIES 3333 RIVERWOOD PARKWAY SE SUITE 200 ATLANTA, GA 30339 (404) 405-4052 MATTBRUNE@SEEFRIEDPROPERTIES.COM WESLEY REED EBERLY & ASSOCIATES, INC. 2951 FLOWERS ROAD SOUTH ATLANTA, GEORGIA 30341 (770) 452-7849 WREED@EBERLY.NET 24 HOUR CONTACT MATT BRUNE (404) 405-4052 MATTBRUNE@SEEFRIEDPROPERTIES.COM

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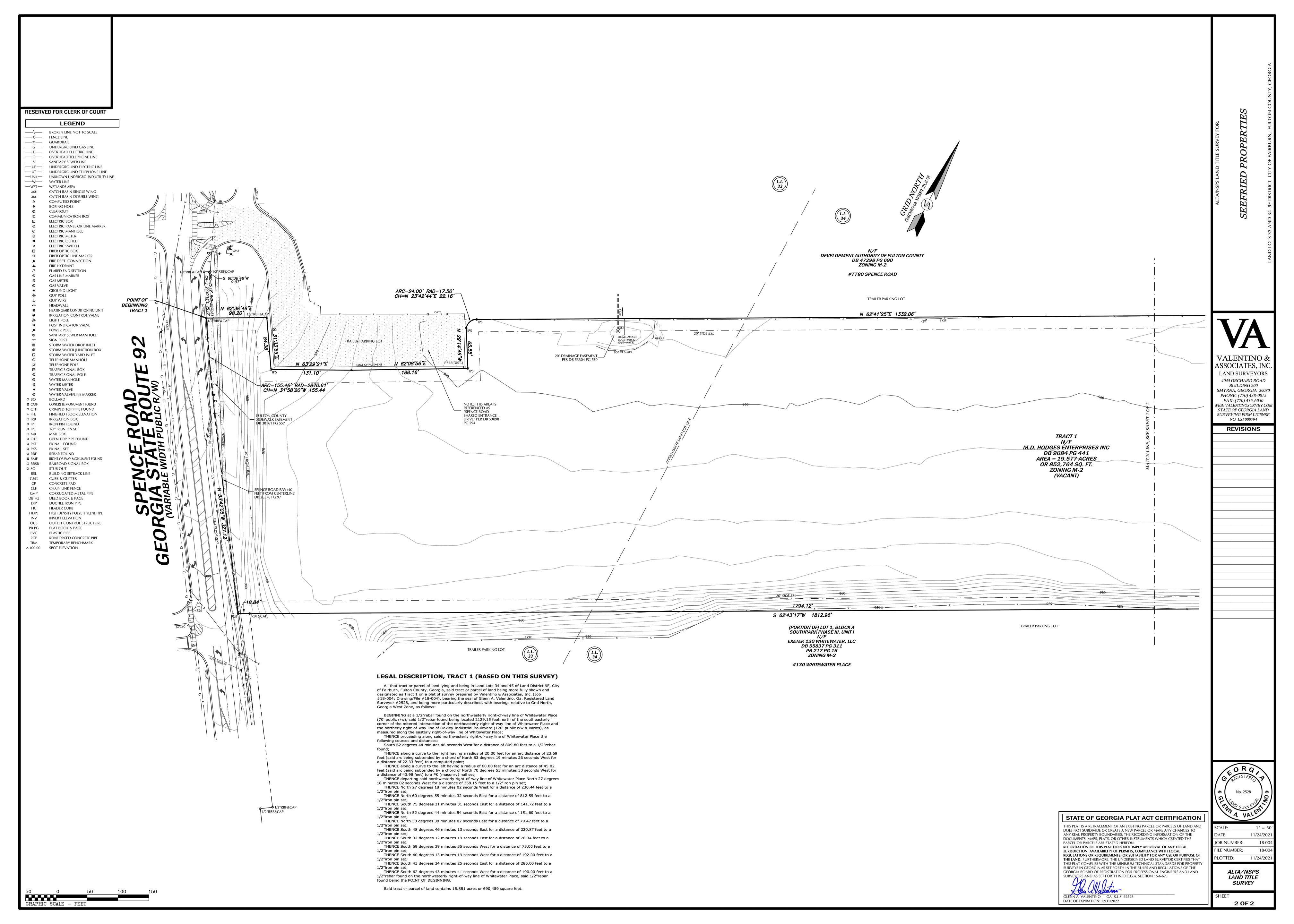
LANDSCAPE ARCHITECTURE

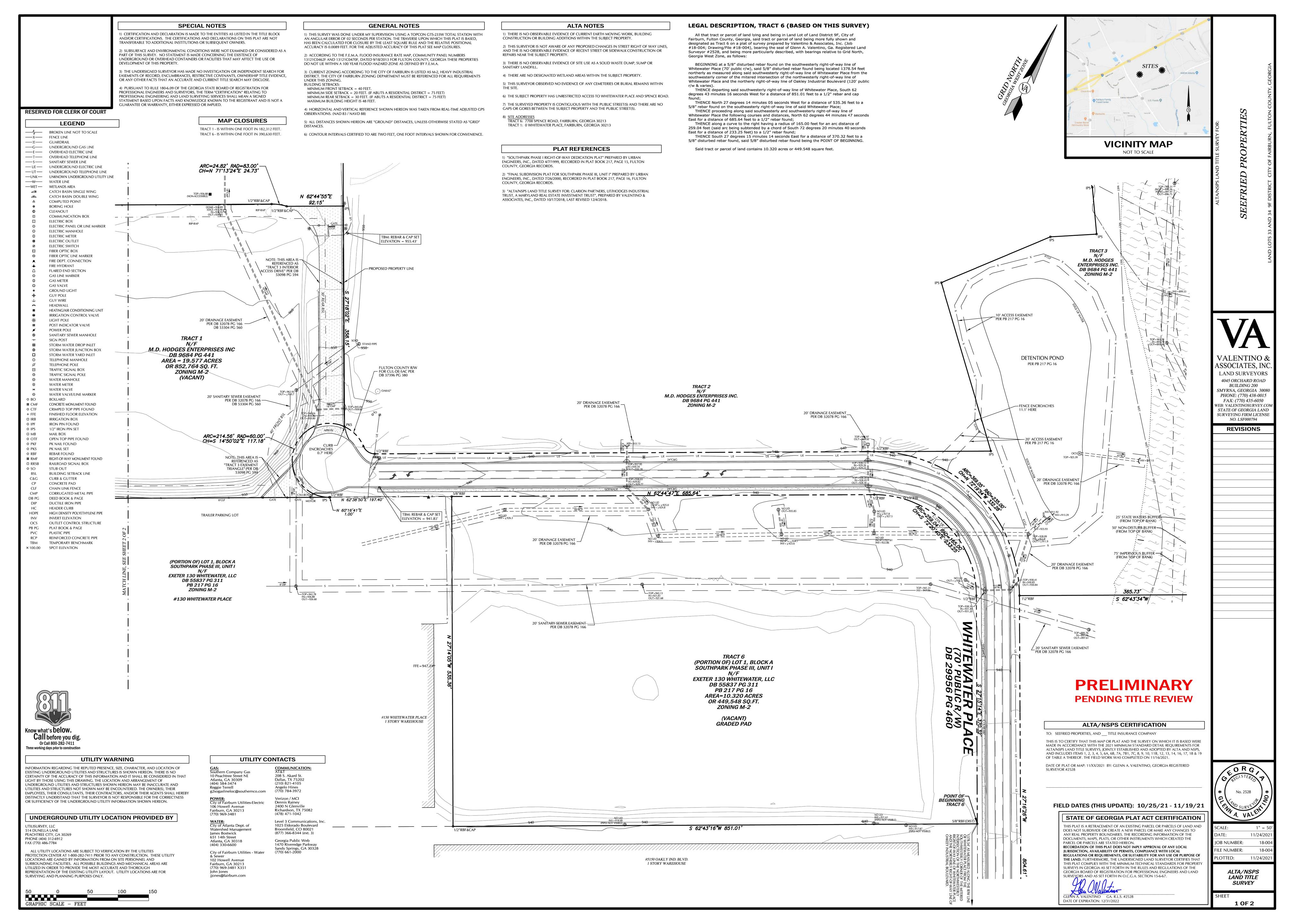
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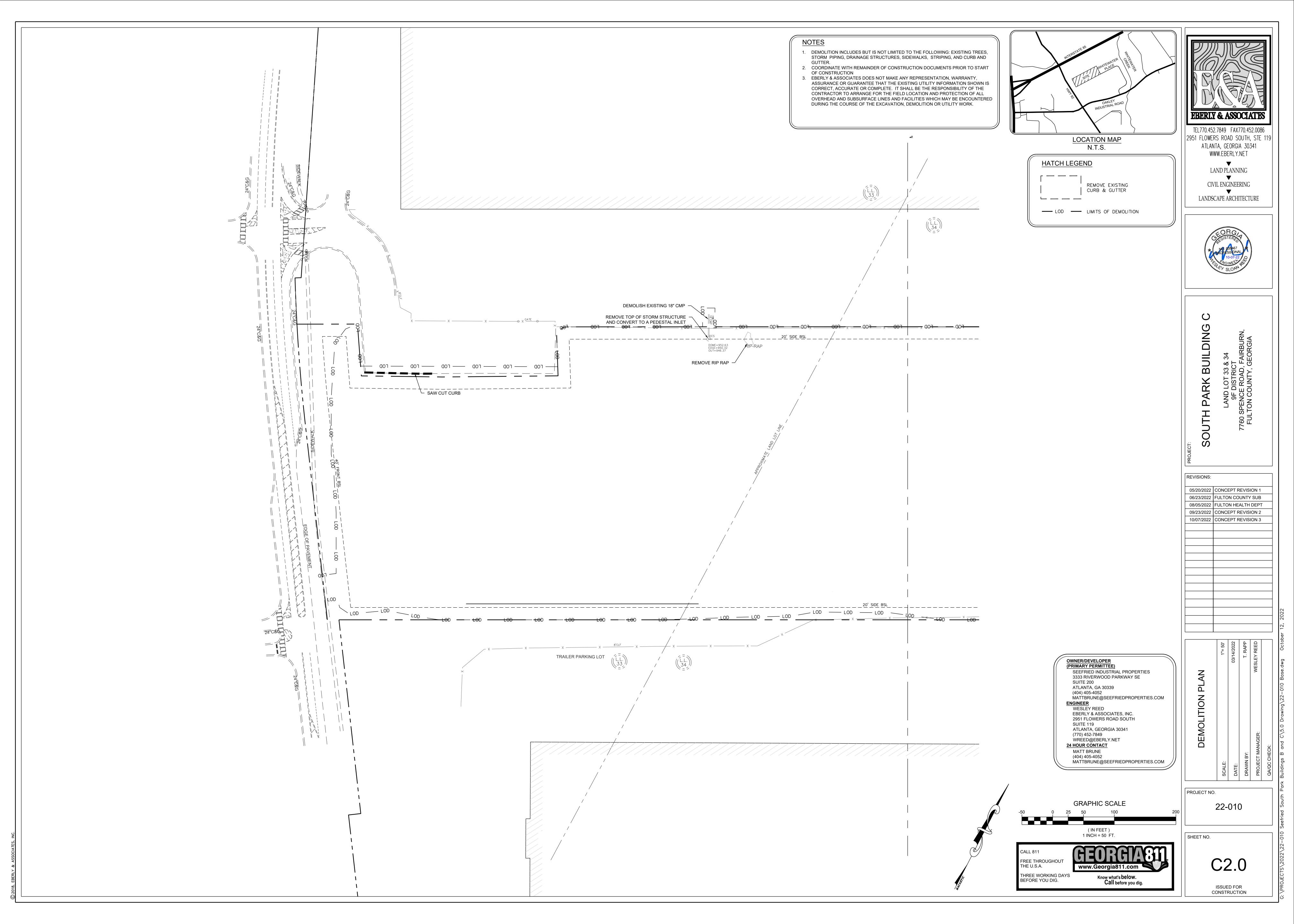
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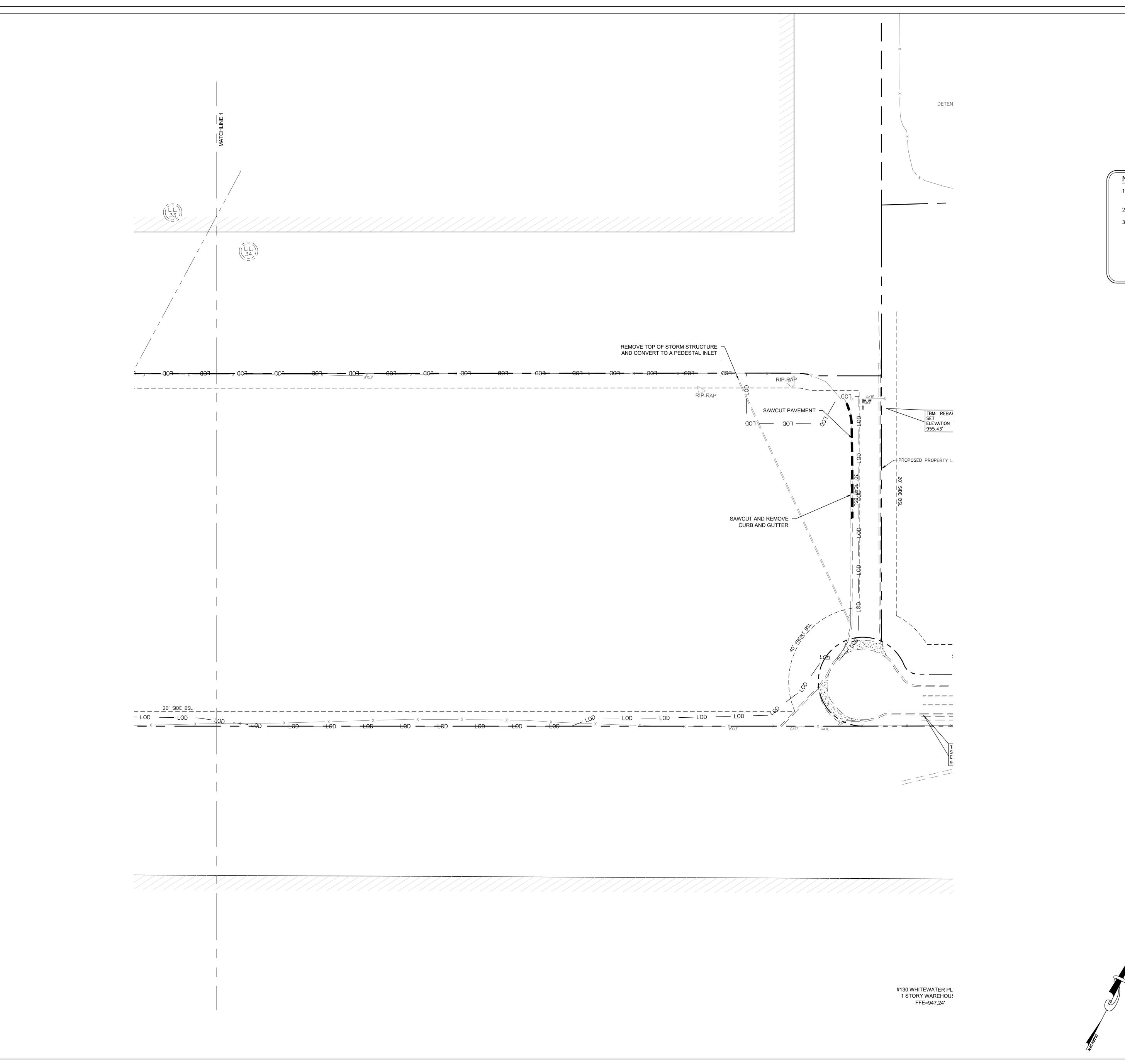
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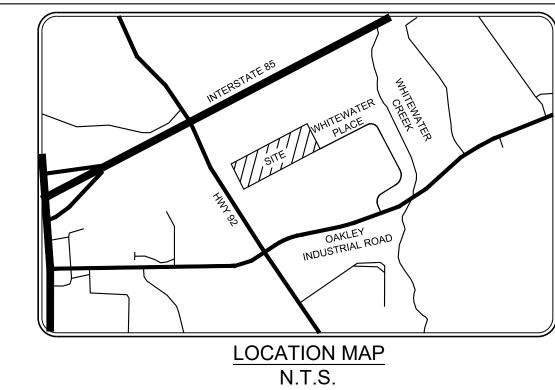
22-010











NOTES

- 1. DEMOLITION INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING: EXISTING TREES, STORM PIPING, DRAINAGE STRUCTURES, SIDEWALKS, STRIPING, AND CURB AND 2. COORDINATE WITH REMAINDER OF CONSTRUCTION DOCUMENTS PRIOR TO START
- OF CONSTRUCTION 3. EBERLY & ASSOCIATES DOES NOT MAKE ANY REPRESENTATION, WARRANTY,
- ASSURANCE OR GUARANTEE THAT THE EXISTING UTILITY INFORMATION SHOWN IS CORRECT, ACCURATE OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ARRANGE FOR THE FIELD LOCATION AND PROTECTION OF ALL OVERHEAD AND SUBSURFACE LINES AND FACILITIES WHICH MAY BE ENCOUNTERED DURING THE COURSE OF THE EXCAVATION, DEMOLITION OR UTILITY WORK.

OWNER/DEVELOPER (PRIMARY PERMITTEE)

ATLANTA, GA 30339 (404) 405-4052

WESLEY REED
EBERLY & ASSOCIATES, INC.
2951 FLOWERS ROAD SOUTH

GRAPHIC SCALE

(IN FEET) 1 INCH = 50 FT.

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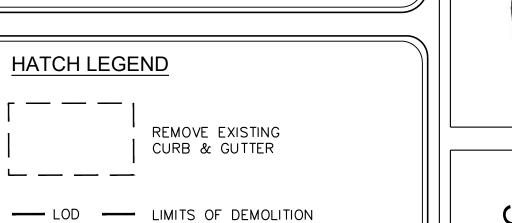
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LAND PLANNING CIVIL ENGINEERING LANDSCAPE ARCHITECTURE



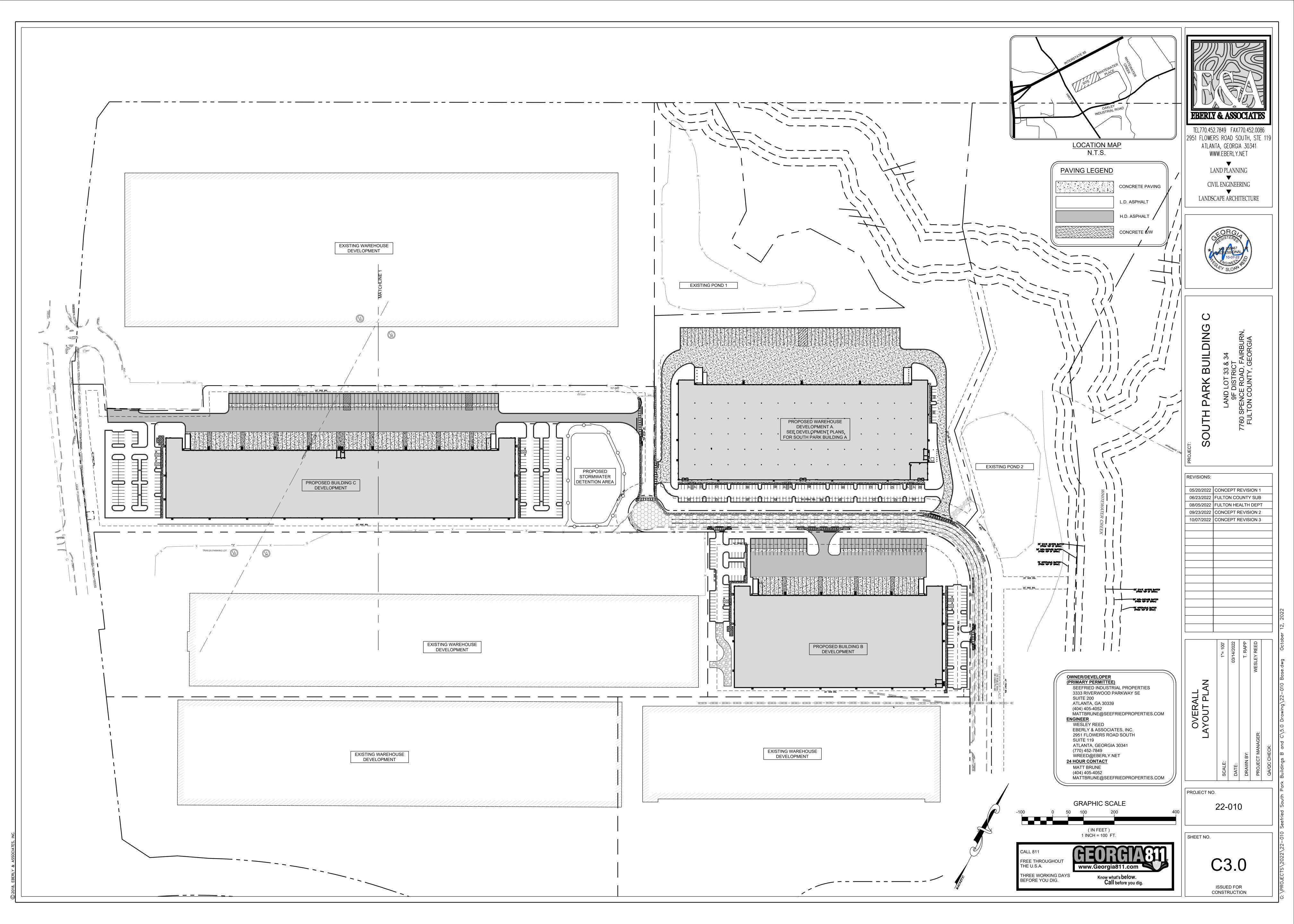
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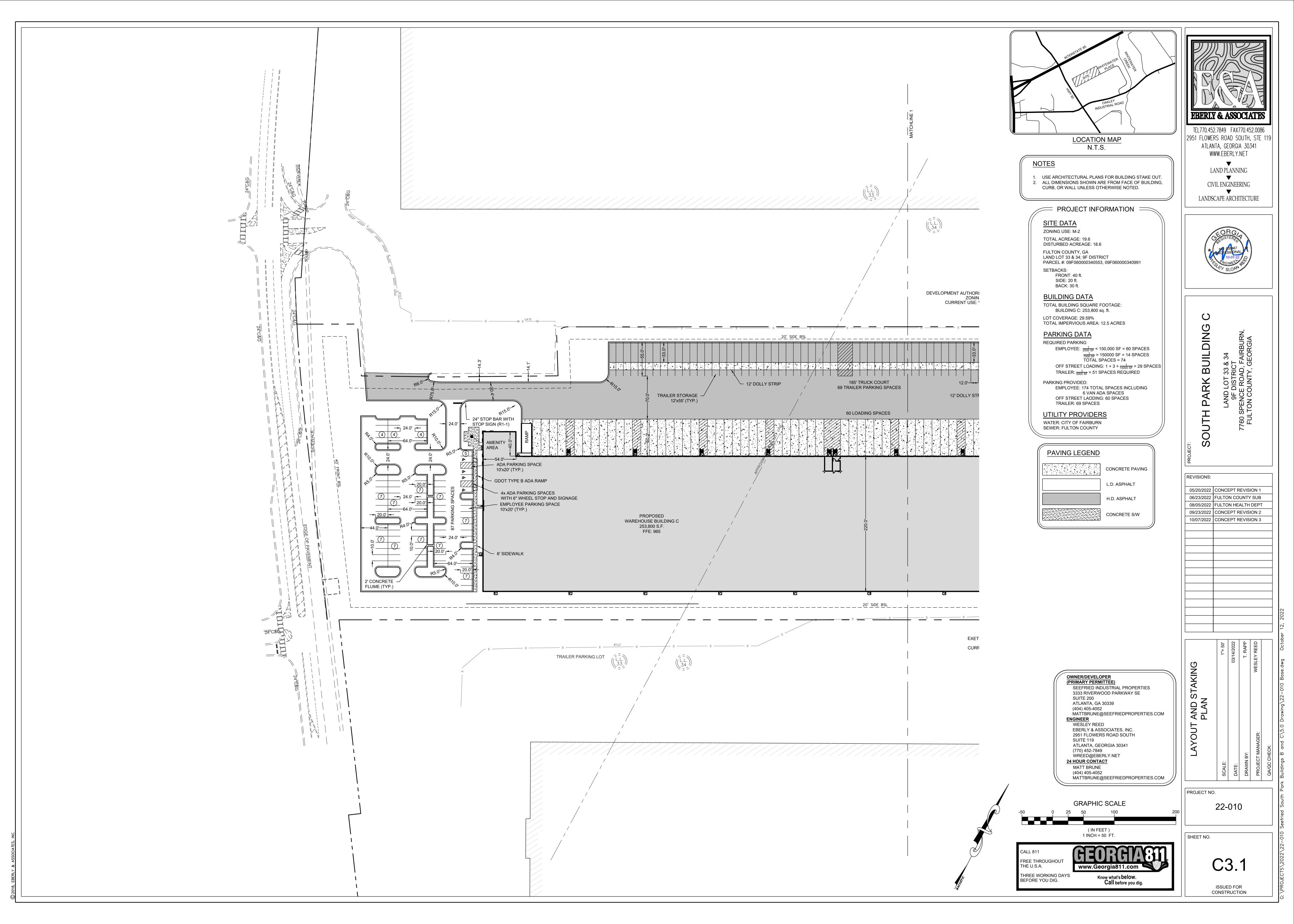
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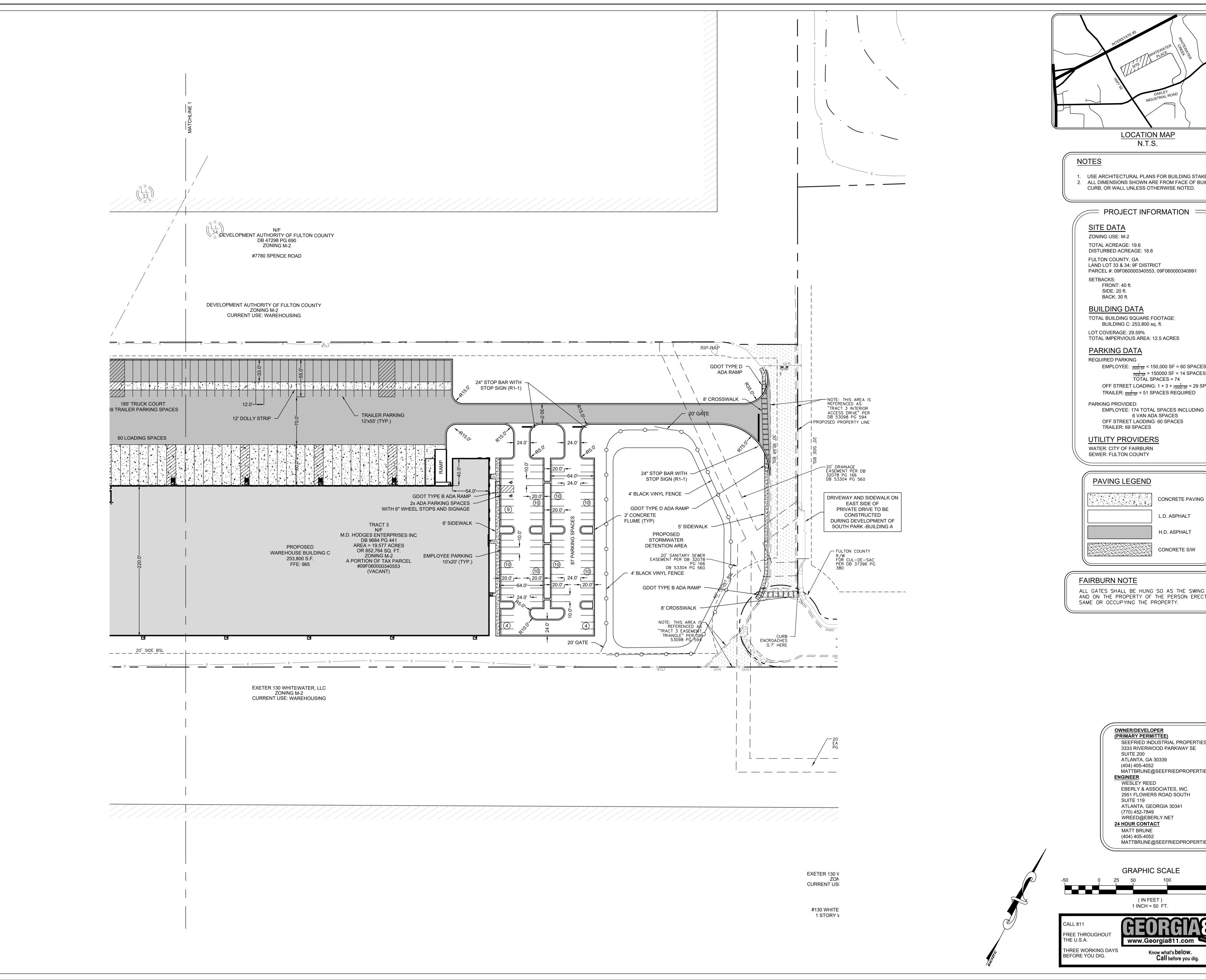
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MOLITION PLAN			

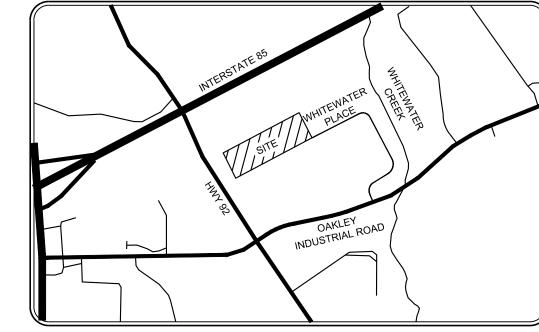
PROJECT NO. 22-010

SHEET NO.









LOCATION MAP

1. USE ARCHITECTURAL PLANS FOR BUILDING STAKE OUT. 2. ALL DIMENSIONS SHOWN ARE FROM FACE OF BUILDING,

PROJECT INFORMATION

LAND LOT 33 & 34; 9F DISTRICT PARCEL #: 09F060000340553, 09F060000340991

TOTAL IMPERVIOUS AREA: 12.5 ACRES

EMPLOYEE: $\frac{1}{2500 \text{ SF}}$ < 150,000 SF = 60 SPACES $\frac{1}{7500 \text{ SF}}$ > 150000 SF = 14 SPACES TOTAL SPACES = 74 OFF STREET LOADING: $1 + 3 + \frac{1}{10000 \text{ SF}} = 29 \text{ SPACES}$

EMPLOYEE: 174 TOTAL SPACES INCLUDING 6 VAN ADA SPACES

L.D. ASPHALT

H.D. ASPHALT

CONCRETE S/W

ALL GATES SHALL BE HUNG SO AS THE SWING INSIDE AND ON THE PROPERTY OF THE PERSON ERECTING THE SAME OR OCCUPYING THE PROPERTY.

OWNER/DEVELOPER

(PRIMARY PERMITTEE) SEEFRIED INDUSTRIAL PROPERTIES 3333 RIVERWOOD PARKWAY SE

MATTBRUNE@SEEFRIEDPROPERTIES.COM WESLEY REED

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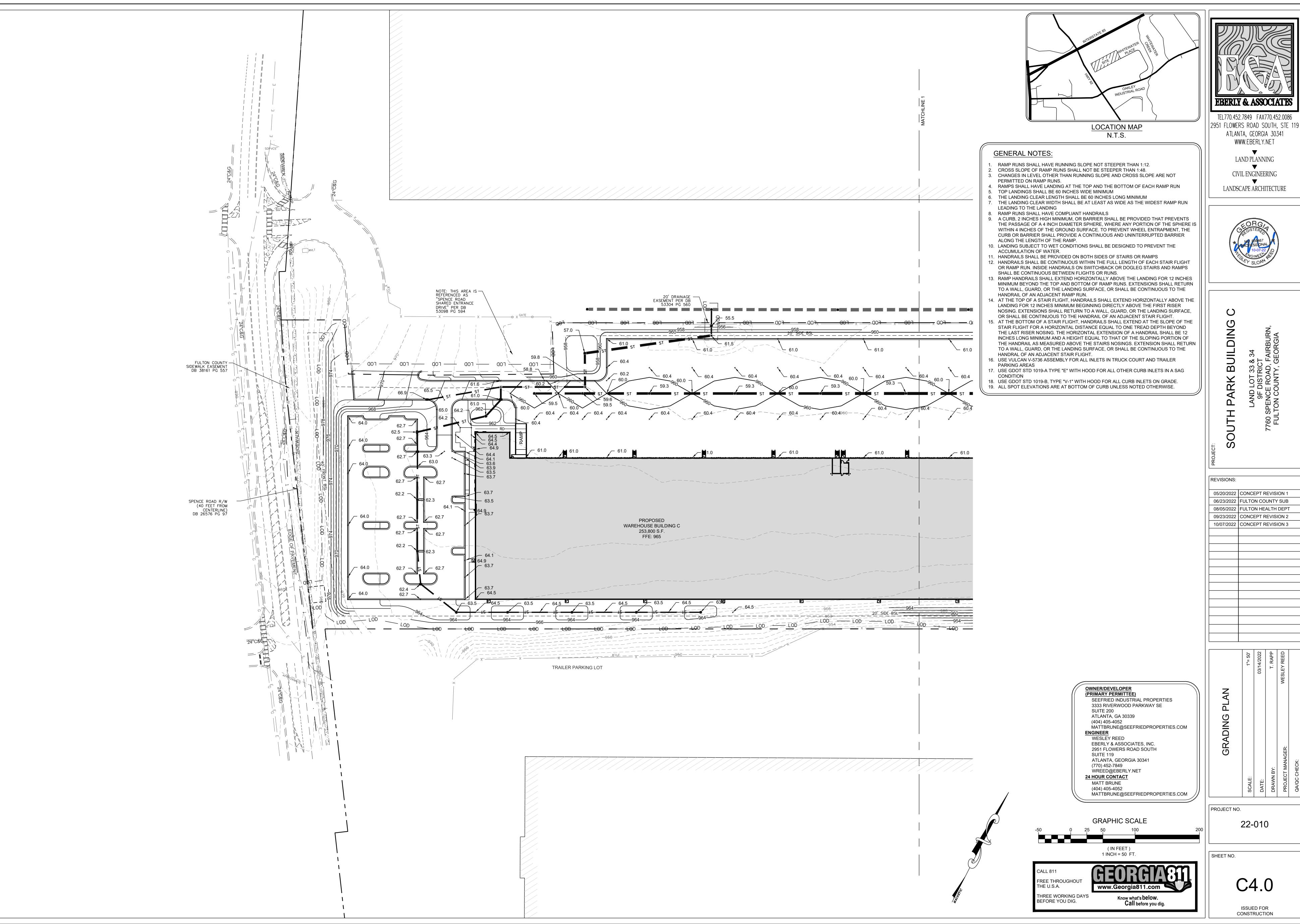
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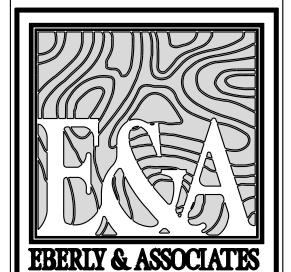
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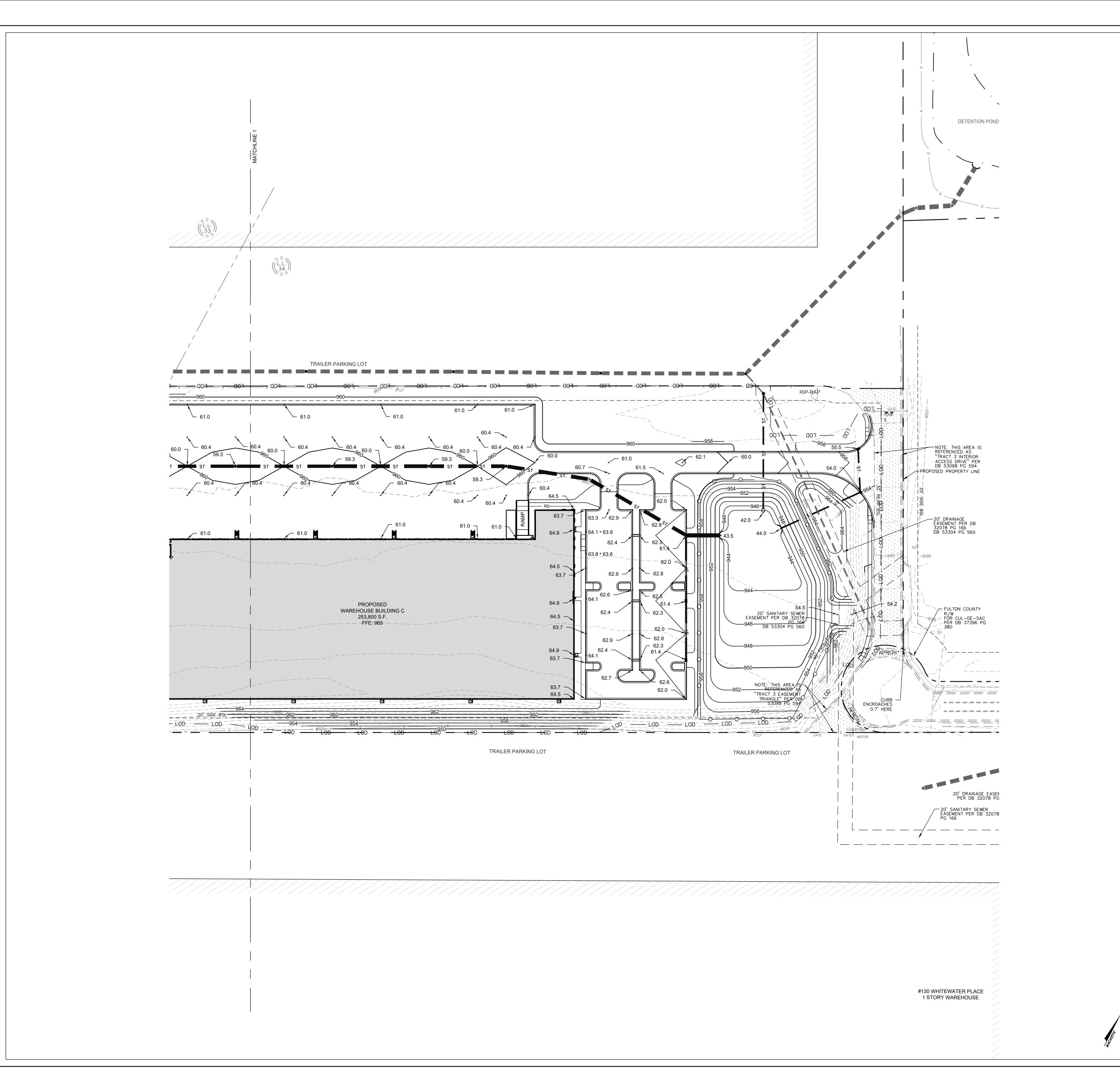
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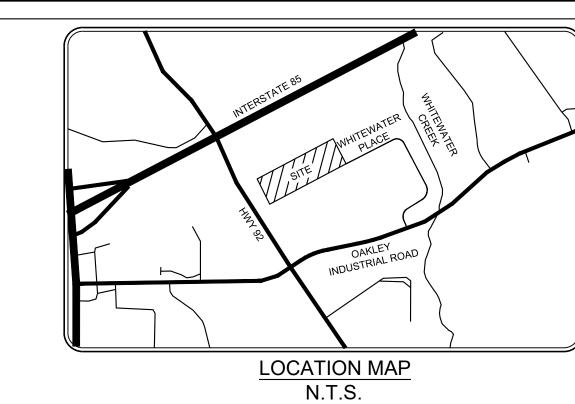






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GENERAL NOTES:

ALONG THE LENGTH OF THE RAMP.

- RAMP RUNS SHALL HAVE RUNNING SLOPE NOT STEEPER THAN 1:12. CROSS SLOPE OF RAMP RUNS SHALL NOT BE STEEPER THAN 1:48.
- CHANGES IN LEVEL OTHER THAN RUNNING SLOPE AND CROSS SLOPE ARE NOT PERMITTED ON RAMP RUNS.
- RAMPS SHALL HAVE LANDING AT THE TOP AND THE BOTTOM OF EACH RAMP RUN
- 5. TOP LANDINGS SHALL BE 60 INCHES WIDE MINIMUM 6. THE LANDING CLEAR LENGTH SHALL BE 60 INCHES LONG MINIMUM
- 7. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDING
 8. RAMP RUNS SHALL HAVE COMPLIANT HANDRAILS
- 9. A CURB, 2 INCHES HIGH MINIMUM, OR BARRIER SHALL BE PROVIDED THAT PREVENTS THE PASSAGE OF A 4 INCH DIAMETER SPHERE, WHERE ANY PORTION OF THE SPHERE IS WITHIN 4 INCHES OF THE GROUND SURFACE. TO PREVENT WHEEL ENTRAPMENT, THE CURB OR BARRIER SHALL PROVIDE A CONTINUOUS AND UNINTERRUPTED BARRIER
- 10. LANDING SUBJECT TO WET CONDITIONS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF WATER.
- 11. HANDRAILS SHALL BE PROVIDED ON BOTH SIDES OF STAIRS OR RAMPS
 12. HANDRAILS SHALL BE CONTINUOUS WITHIN THE FULL LENGTH OF EACH STAIR FLIGHT OR RAMP RUN. INSIDE HANDRAILS ON SWITCHBACK OR DOGLEG STAIRS AND RAMPS
- SHALL BE CONTINUOUS BETWEEN FLIGHTS OR RUNS.

 13. RAMP HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING FOR 12 INCHES MINIMUM BEYOND THE TOP AND BOTTOM OF RAMP RUNS. EXTENSIONS SHALL RETURN TO A WALL, GUARD, OR THE LANDING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT RAMP RUN.

. AT THE BOTTOM OF A STAIR FLIGHT, HANDRAILS SHALL EXTEND AT THE SLOPE OF THE

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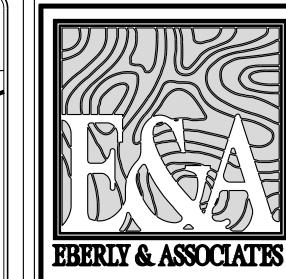
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- 14. AT THE TOP OF A STAIR FLIGHT, HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING FOR 12 INCHES MINIMUM BEGINNING DIRECTLY ABOVE THE FIRST RISER NOSING. EXTENSIONS SHALL RETURN TO A WALL, GUARD, OR THE LANDING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT.
- STAIR FLIGHT FOR A HORIZONTAL DISTANCE EQUAL TO ONE TREAD DEPTH BEYOND THE LAST RISER NOSING. THE HORIZONTAL EXTENSION OF A HANDRAIL SHALL BE 12 INCHES LONG MINIMUM AND A HEIGHT EQUAL TO THAT OF THE SLOPING PORTION OF THE HANDRAIL AS MEASURED ABOVE THE STAIRS NOSINGS. EXTENSION SHALL RETURN TO A WALL, GUARD, OR THE LANDING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAL OF AN ADJACENT STAIR FLIGHT.
- 16. USE VULCAN V-5736 ASSEMBLY FOR ALL INLETS IN TRUCK COURT AND TRAILER PARKING AREAS
- PARKING AREAS

 17. USE GDOT STD 1019-A TYPE "E" WITH HOOD FOR ALL OTHER CURB INLETS IN A SAG
- CONDITION

 18. USE GDOT STD 1019-B, TYPE "V-1" WITH HOOD FOR ALL CURB INLETS ON GRADE.

 19. ALL SPOT ELEVATIONS ARE AT BOTTOM OF CURB UNLESS NOTED OTHERWISE.



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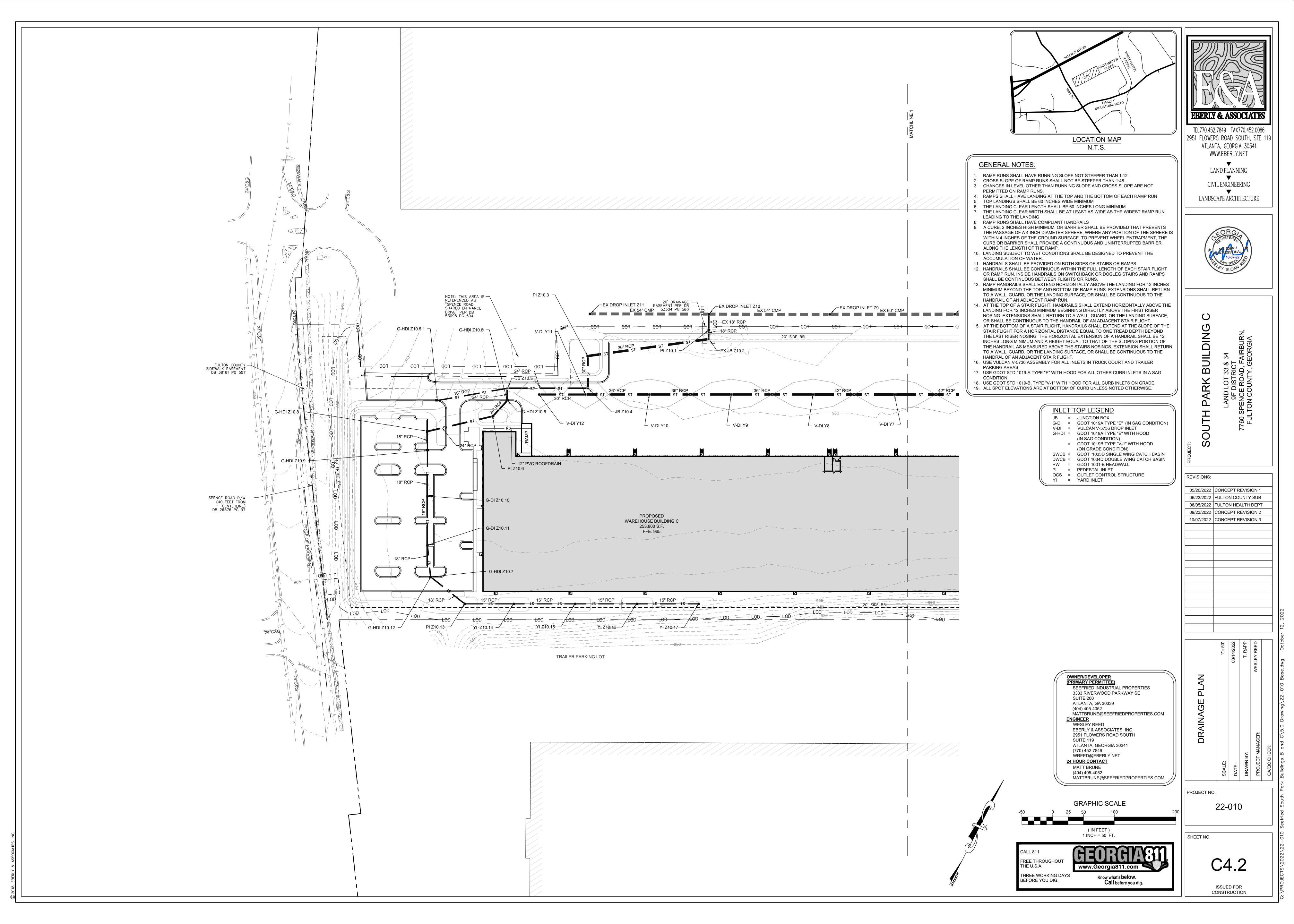
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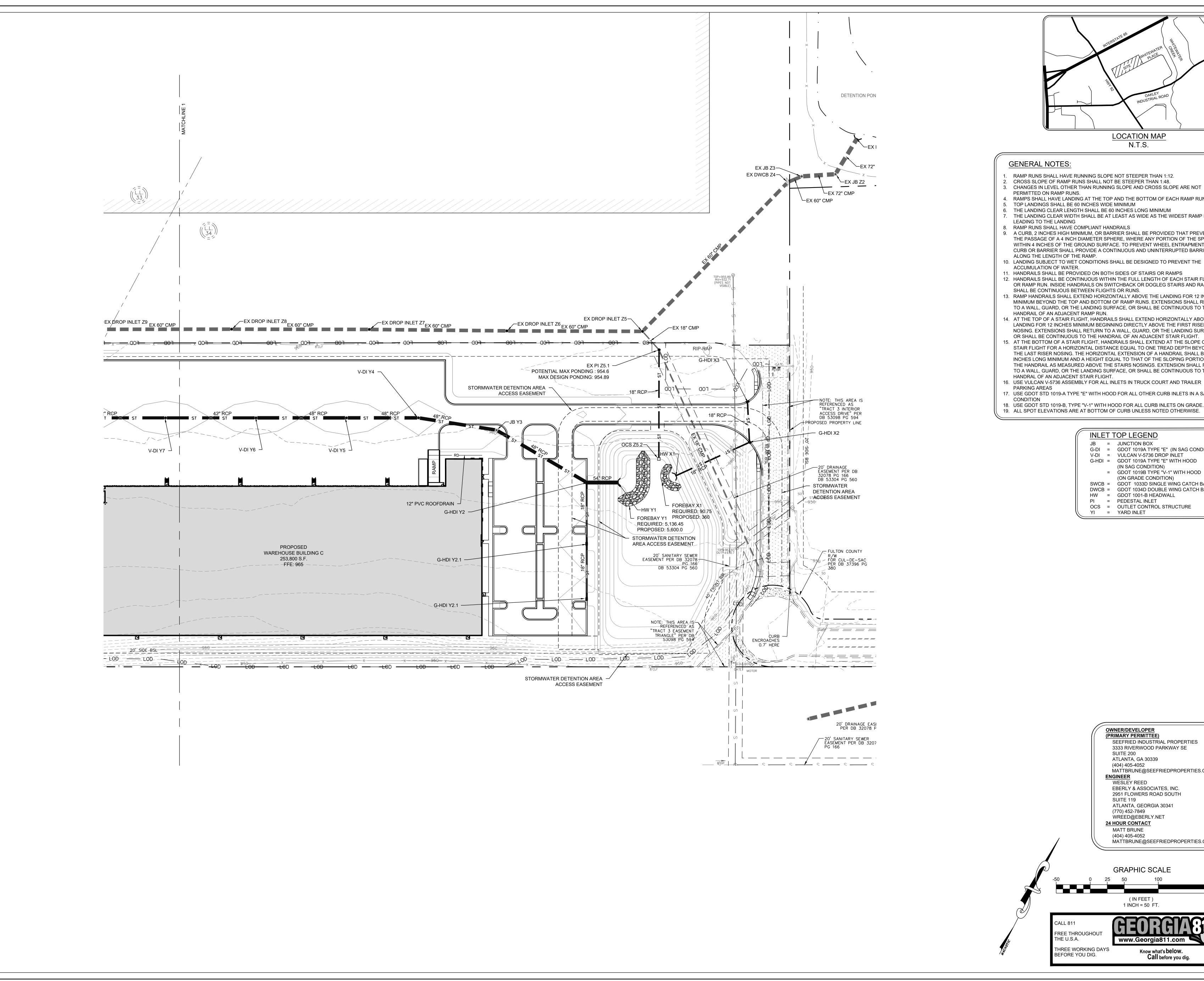
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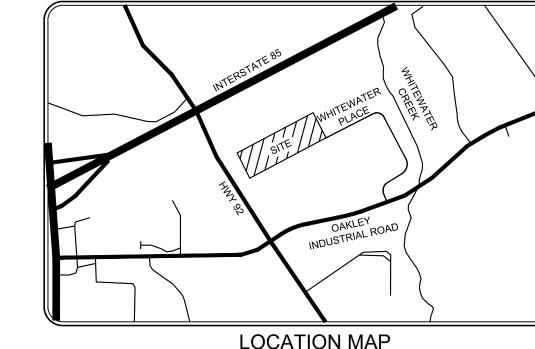
22-010

SHEET NO.

C4 1







LOCATION MAP N.T.S.

- RAMP RUNS SHALL HAVE RUNNING SLOPE NOT STEEPER THAN 1:12.
- RAMPS SHALL HAVE LANDING AT THE TOP AND THE BOTTOM OF EACH RAMP RUN
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INLET TOP LEGEND

- JB = JUNCTION BOX G-DI = GDOT 1019A TYPE "E" (IN SAG CONDITION) V-DI = VULCAN V-5736 DROP INLET
- G-HDI = GDOT 1019A TYPE "E" WITH HOOD (IN SAG CONDITION) = GDOT 1019B TYPE "V-1" WITH HOOD
- (ON GRADE CONDITION) SWCB = GDOT 1033D SINGLE WING CATCH BASIN DWCB = GDOT 1034D DOUBLE WING CATCH BASIN
- HW = GDOT 1001-B HEADWALL PI = PEDESTAL INLET
- OCS = OUTLET CONTROL STRUCTURE YI = YARD INLET

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WESLEY REED

SUITE 119

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GRAPHIC SCALE

1 INCH = 50 FT.

SUITE 200

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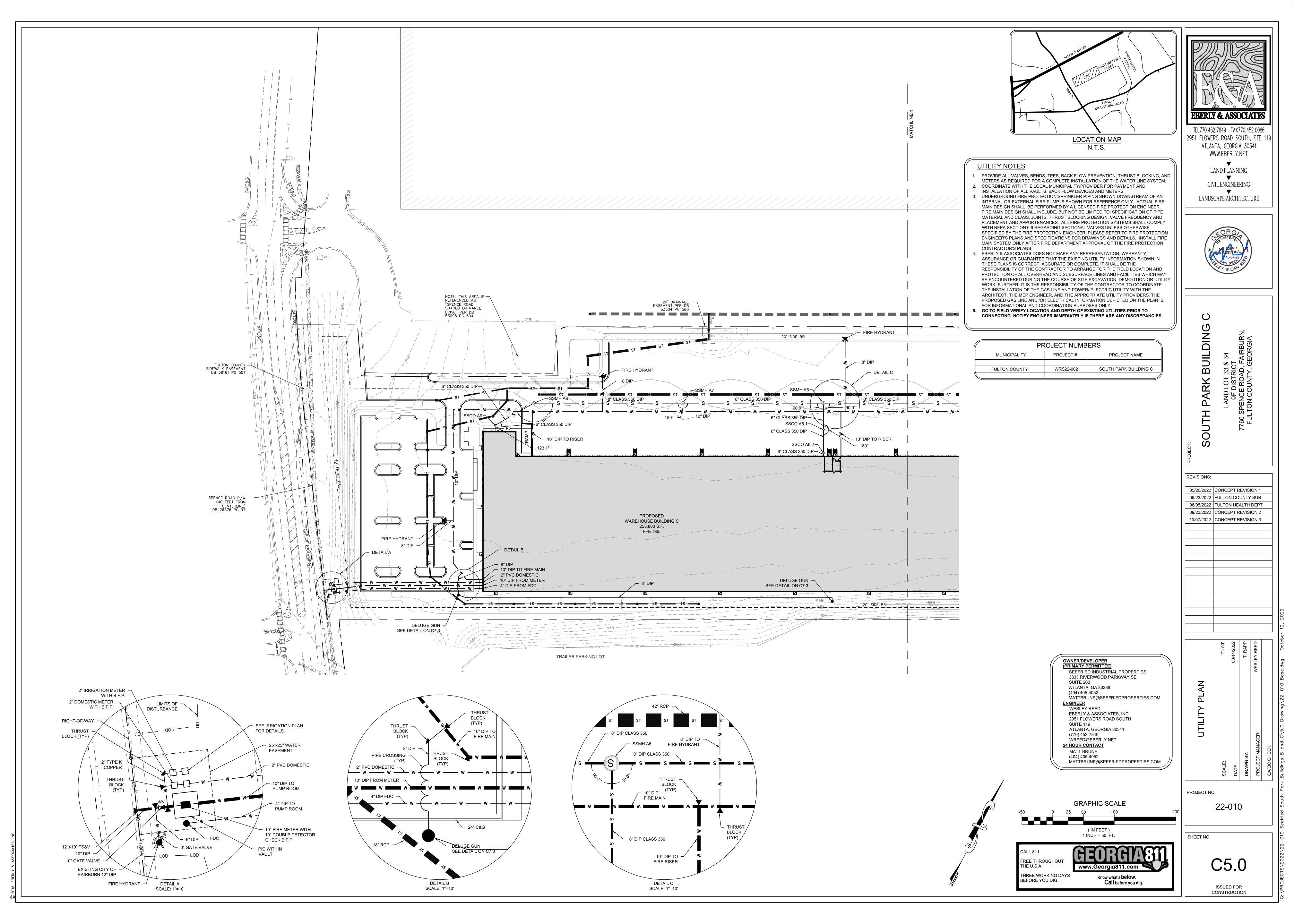
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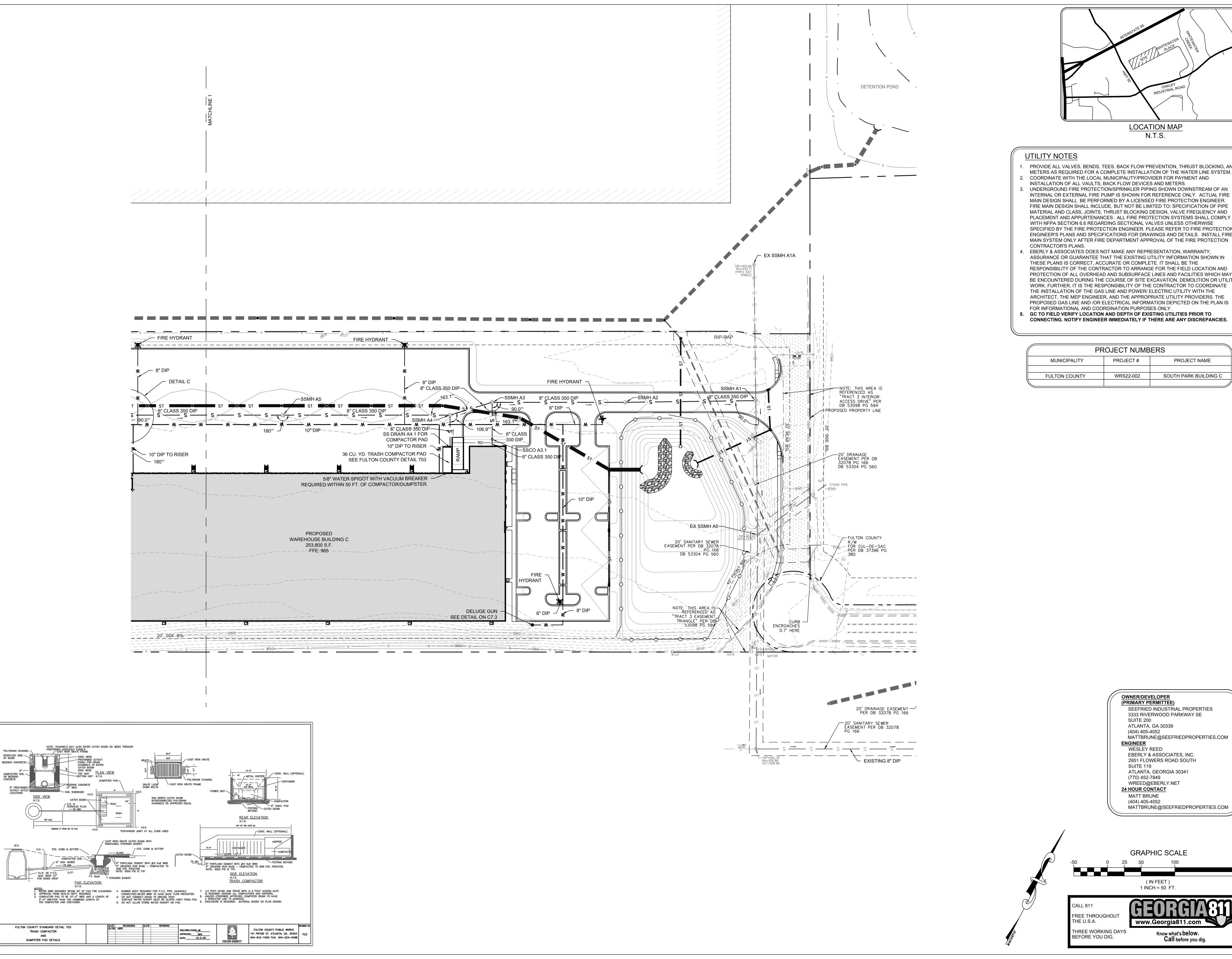
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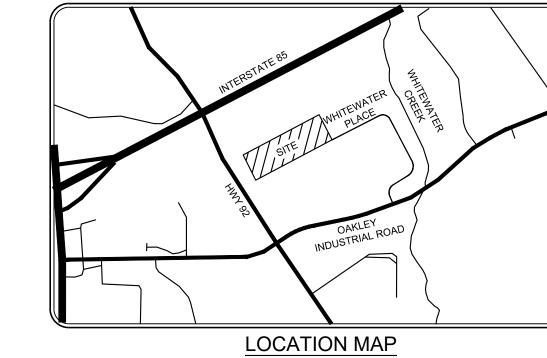
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SHEET NO.

C4.3







- PROVIDE ALL VALVES, BENDS, TEES, BACK FLOW PREVENTION, THRUST BLOCKING, AND METERS AS REQUIRED FOR A COMPLETE INSTALLATION OF THE WATER LINE SYSTEM. COORDINATE WITH THE LOCAL MUNICIPALITY/PROVIDER FOR PAYMENT AND
- UNDERGROUND FIRE PROTECTION/SPRINKLER PIPING SHOWN DOWNSTREAM OF AN INTERNAL OR EXTERNAL FIRE PUMP IS SHOWN FOR REFERENCE ONLY. ACTUAL FIRE MAIN DESIGN SHALL BE PERFORMED BY A LICENSED FIRE PROTECTION ENGINEER. FIRE MAIN DESIGN SHALL INCLUDE, BUT NOT BE LIMITED TO: SPECIFICATION OF PIPE MATERIAL AND CLASS, JOINTS, THRUST BLOCKING DESIGN, VALVE FREQUENCY AND PLACEMENT AND APPURTENANCES. ALL FIRE PROTECTION SYSTEMS SHALL COMPLY WITH NFPA SECTION 6.6 REGARDING SECTIONAL VALVES UNLESS OTHERWISE SPECIFIED BY THE FIRE PROTECTION ENGINEER. PLEASE REFER TO FIRE PROTECTION ENGINEER'S PLANS AND SPECIFICATIONS FOR DRAWINGS AND DETAILS. INSTALL FIRE
- EBERLY & ASSOCIATES DOES NOT MAKE ANY REPRESENTATION, WARRANTY, ASSURANCE OR GUARANTEE THAT THE EXISTING UTILITY INFORMATION SHOWN IN THESE PLANS IS CORRECT, ACCURATE OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ARRANGE FOR THE FIELD LOCATION AND PROTECTION OF ALL OVERHEAD AND SUBSURFACE LINES AND FACILITIES WHICH MAY BE ENCOUNTERED DURING THE COURSE OF SITE EXCAVATION, DEMOLITION OR UTILITY WORK. FURTHER, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE INSTALLATION OF THE GAS LINE AND POWER/ ELECTRIC UTILITY WITH THE ARCHITECT, THE MEP ENGINEER, AND THE APPROPRIATE UTILITY PROVIDERS. THE PROPOSED GAS LINE AND /OR ELECTRICAL INFORMATION DEPICTED ON THE PLAN IS
- GC TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO CONNECTING. NOTIFY ENGINEER IMMEDIATELY IF THERE ARE ANY DISCREPANCIES.

	PROJECT NU	JMBERS
MUNICIPALITY	PROJECT#	PROJECT NAME
FULTON COUNTY	WRS22-002	2 SOUTH PARK BUILDING C
(

OWNER/DEVELOPER (PRIMARY PERMITTEE)

ATLANTA, GA 30339 (404) 405-4052

EBERLY & ASSOCIATES, INC.

ATLANTA, GEORGIA 30341

GRAPHIC SCALE

1 INCH = 50 FT.

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SUITE 119

(770) 452-7849

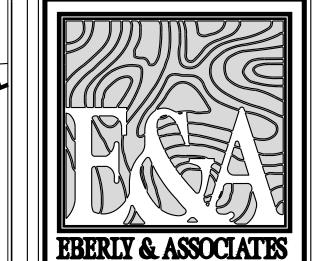
24 HOUR CONTACT MATT BRUNE (404) 405-4052

SUITE 200

SEEFRIED INDUSTRIAL PROPERTIES 3333 RIVERWOOD PARKWAY SE

MATTBRUNE@SEEFRIEDPROPERTIES.COM

MATTBRUNE@SEEFRIEDPROPERTIES.COM



TEL770.452.7849 FAX770.452.0086 2951 FLOWERS ROAD SOUTH, STE 119

> WWW.EBERLY.NET LAND PLANNING CIVIL ENGINEERING

ATLANTA, GEORGIA 30341

LANDSCAPE ARCHITECTURE



REVISIONS:

05/20/2022 | CONCEPT REVISION 1 06/23/2022 FULTON COUNTY SUB 08/05/2022 FULTON HEALTH DEPT 09/23/2022 | CONCEPT REVISION 2 10/07/2022 CONCEPT REVISION 3

PROJECT NO.

22-010

SHEET NO.

FULTON COUNTY

UTILITY DISCLAIMER

WATER VAULT INSTALLATION NOTE

BE CAUTIOUS OF DISTURBING OR DISRUPTING ANY

UNDERGROUND FIBER OPTIC LINES DURING THE

INSTALLATION OF THE WATER VAULTS AND WATER LINES

CONNECTING TO THE FULTON COUNTY WATER MAIN

UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH UTILITY COMPANIES TO HAVE THEM RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.

FIRE HYDRANT NOTES

- ENSURE ALL FIRE HYDRANTS AROUND TRUCK COURTS ARE UNOBSTRUCTED AND HAVE 12' CENTER LINE OUTWARDS IN BOTH DIRECTIONS FOR FIRE DEPARTMENT ACCESS, THIS AREA SHALL BE PAINTED RED AND POSTED WITH "FIRE LANE NO
- ALL FIRE HYDRANTS SHALL BE POSTED WITH FIRE LANES MEETING THE ABOVE REQUIREMENTS FOR MARKING AND IDENTIFICATION.

UTILITY COORDINATION NOTES

- CONTRACTOR SHALL COORDINATE THE EXACT LOCATION FOR ALL UTILITY STUB-OUTS WITH ARCHITECTURAL AND PLUMBING PLANS ON-SITE FIRE PROTECTION SYSTEM LAYOUTS ARE SHOWN FOR LAND
- DISTURBANCE PERMIT INFORMATION ONLY. PROVIDE FINAL DESIGN AND PERMIT FROM THE FIRE PROTECTION CONTRACTOR. INSTALL VAULTS, METERS, MAINS, HYDRANTS, AND APPURTENANCES ONLY AFTER FIRE DEPARTMENT APPROVAL OF THE FIRE PROTECTION CONTRACTOR'S PLANS. ALL FIRE PROTECTION SYSTEMS SHALL COMPLY WITH NFPA SECTION 6.6
- REGARDING SECTIONAL VALVES UNLESS OTHERWISE SPECIFIED BY THE FIRE PROTECTION ENGINEER.

- PROVIDE ALL VALVES, BENDS, TEES, BFP, THRUST BLOCKING, AND METERS AS REQUIRED FOR INSTALLATION OF THE WATER LINE. COORDINATE WITH LOCAL MUNICIPALITY FOR PAYMENT AND INSTALLATION OF THE VAULT AND METER.
- 3. NO PORTION OF THIS PROPERTY LIES IN THE FLOOD HAZARD ZONE AE AS PER THE FULTON COUNTY F.I.R.M. COMMUNITY PANEL NO. 13121C0470F DATED SEPTEMBER
- 4. MAXIMUM CUT OR FILL SLOPE IS 2H:1V.
- 5. EBERLY & ASSOCIATES DOES NOT MAKE ANY REPRESENTATION, WARRANTY, ASSURANCE OR GUARANTEE THAT THE EXISTING UTILITY INFORMATION SHOWN IS CORRECT, ACCURATE OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ARRANGE FOR THE FIELD LOCATION AND PROTECTION OF ALL OVERHEAD AND SUBSURFACE LINE AND FACILITIES WHICH MAY BE ENCOUNTERED DURING THE COURSE OF THE EXCAVATION, DEMOLITION OR UTILITY WORK. FURTHER, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE INSTALLATION OF THE GAS LINE WITH THE ARCHITECT, THE MEP ENGINEER, AND THE APPROPRIATE UTILITY COMPANY.INFORMATION DEPICTED ON THE PLAN IS FOR INFORMATIONAL PURPOSES ONLY.

MUNICIPALITY

EXISTING MANHOLE NOTES

- CONTRACTOR MUST FIELD VERIFY THE LOCATION AND INVERT OF THE EXISTING WASTEWATER LINE PRIOR TO CONSTRUCTION.
- REMOVE AND REPLACE THE EXISTING INVERT TO ACCEPT THE NEW LINE AS REQUIRED IN THE FIELD.

PROJECT NUMBERS

PROJECT#

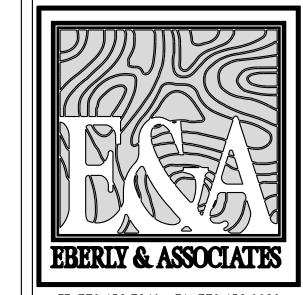
PROJECT NAME

SOUTH PARK BUILDING C

- CORE FOR NEW LATERAL FROM THE INSIDE OF THE MANHOLE IN THE PRESENCE OF
- REBUILD THE WATERTABLE AND INVERT WITH ROWLOCK BRICKS TO DIRECT THE
- RUNOFF FROM THE NEW LINE TO EXISTING EFFLUENT INVERT. REBUILD AND/OR REPLACE EXISTING MANHOLE IF THE MANHOLE IS SUB-STANDARD AS
- DETERMINED IN THE FIELD. REHABILITATE EXISTING MANHOLE AS REQUIRED IN FIELD TO BRING MANHOLE INTO COMPLIANCE WITH FULTON COUNTY STANDARDS AND REGULATIONS.
- REPLACE COVERS ON EXISTING MANHOLES WITH NEW (LANDSCAPE AND/OR PAVEMENT) MANHOLE COVER.
- CITY OF FAIRBURN TYPICAL WATER SYSTEM CONSTRUCTION NOTES
- . ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CITY OF FAIRBURN WATER SYSTEM SPECIFICATIONS.
- 2. ALL MATERIALS SHALL CONFORM TO CITY OF FAIRBURN DEVELOPMENT SPECIFICATIONS. THE CONTRACT TO SHALL AT THE REQUEST OF THE CITY OF FAIRBURN WATER & SEWER DEPARTMENT PROVIDE SUBMITTALS ON ALL PIPE AND MATERIALS USED FOR APPROVAL. AND WORK DONE BY THE CONTRACTOR SHALL BE AT HIS OWN RISK UNTIL REVIEW AND APPROVAL OF THESE SUBMITTALS ARE
- THE CONTRACTOR SHALL NOTIFY THE CITY OF FAIRBURN WATER AND SEWER DEPARTMENT 48 HOURS PRIOR TO CONSTRUCTION TO SCHEDULE A
- PRE-CONSTRUCTION CONFERENCE. 4. THE CONTRACTOR SHALL SCHEDULE AN INSPECTION BY THE CITY OF FAIRBURN WATER & SEWER DEPARTMENT BEFORE ANY WORK IS HIDDEN FORM VIEW. 5. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL UTILITIES BEFORE
- CONSTRUCTION AND VERIFYING THE LOCATION OF ALL UTILITIES SHOWN OR NOT 6. ALL UTILITIES WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRING RELOCATION OR
- ADJUSTMENT IN ORDER TO ACCOMMODATE PROPOSED IMPROVEMENTS SHALL BE RELOCATED OR ADJUSTED AT THE CONTRACTOR'S EXPENSE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY AND COORDINATE HIS WORK WITH EXISTING UTILITIES WHICH CONFLICT WITH HIS WORK. CONTRACTOR
- SHALL MAINTAIN SUCH UTILITIES SHOWN OR NOT SHOWN ON THIS PLAN. ALL VALVE BOXES ARE TO HAVE COLLARS AND MARKERS AS REQUIRED BY THE CITY OF FAIRBURN WATER & SEWER DEPARTMENT.
- WATER LINES SHALL HAVE A MINIMUM COVER OF 4 FEET FROM FINISHED GRADE. 10. MINIMUM HORIZONTAL AND VERTICAL DISTANCES BETWEEN WATER LINES AND OTHER UNDERGROUND UTILITIES OR STRUCTURES SHALL BE 2 FEET.
- 11. WATER LINES SHALL BE LOCATED AS INDICATED ON THE PLANS. 12. ALL WATER LINES SHALL BE MARKED WITH A SAWED "W" NOTCH PAINTED BLUE ON
- THE CURB. 13. ALL WATER MAIN CROSSING UNDER PAVEMENT SHALL BE DIP IN STEEL CASINGS
- AS PER CITY OF FAIRBURN WATER & SEWER DEPARTMENT SPECIFICATIONS. 14. ALL VALVES AN FITTINGS SHARE TO BE RESTRAINED WITH APPROPRIATE TYPE AND NUMBER OF EBBA IRON OR UNIFLANGE RESTRAINT SYSTEM APPURTENANCES APPROVED BY THE CITY OF FAIRBURN WATER & SEWER DEPARTMENT PRIOR TO CONSTRUCTION. ANY CONCRETE BLOCKING THAT IS ALLOWED SHALL BE INSTALLED TO UNDISTURBED EARTH.
- 15. ALL WATER LINES CROSSING DRAINS SHALL BE A MINIMUM OF 36 L.F. DIP. 16. ALL SERVICE LINES CROSSING UNDER PAVEMENT OR IN FRONT OF LOTS SHALL BE ENCASED IN 2" CONDUIT MATERIAL APPROVED BY THE CITY OF FAIRBURN WATER & SEWER DEPARTMENT.

FULTON COUNTY WATER NOTES

- ALL PUBLIC WATER LINES SHALL BE MARKED WITH A CONTINUOUS ELECTRONIC MARKING SYSTEM (EMS) CAUTION TAPE, AT MAXIMUM BURIAL DEPTH OF 2-FEET DIRECTLY ABOVE THE WATER LINE LOCTED BELOW THE TAPE (3M PATHMARKING TAPE MODEL #80 6116
- WATER VALVE MARKERS SHALL BE PLACED AT ALL LOCATIONS WHERE WATER VALVES ARE NOT IN THE STREETS. WATER VALVES THAT ARE IN THE STREET WILL BE CLEARLY
- ALL TEMPORARY AND PERMANENT WASTEWATER EASEMENTS MUST BE DRESSED AND GRASSED TO CONTROL EROSION PRIOR TO ACCEPTANCE. TREES SHALL NOT BE PLANTED IN THE PERMANENT EASEMENT AREA, OR WITHIN 10-FEET OF A FULTON COUNTY WATER MAIN.
- AS-BUILT DRAWINGS AND MAINTENANCE BOND(S) MUST BE SUBMITTED AND ARE REQUIRED PRIOR TO INSPECTION AND ACCEPTANCE. DIGITAL AS-BUILT WILL BE REQUIRED. NOTE THAT DIGITAL AS-BUILTS WILL BE REQUIRED AT THE COMPLETION OF THE PROJECT. PLEASE SEE HTTP://WWW.FULTONCOUNTYGA.GOV/IMAGES/STORIES/WR/DEVELOPMENT/
- CAD_STANDARDS.PDF FOR THE REQUIREMENTS. MAINTENANCE BONDS ARE DUE AT FINAL APPROVAL OF THE AS-BUILTS. ALL CONSTRUCTION METHODS AND MATERIALS USED IN THE FULTON COUNTY WATER SYSTEM MUST BE MADE OF DUCTILE IRON, AND COMPLY IN RESPECT TO ANS/AWWAA21.111/C111-85 STANDARD SPECIFICATIONS. PLANS THAT DO NO MEET THE SPECIFICATIONS IN ALL RESPECTS WILL NOT BE ACCEPTED. (CLASS 50 DIP OR BETTER - CLASS 51 OR 52 IS ALSO ACCEPTABLE FOR LINES 4" AND LARGER). FOR LINES UP TO 4", ACCEPTABLE MATERIALS ARE EATHER TYPE "K"
- COPPER OR CLASS 50 DIP AWWA C151. CONTRACTOR IS RESPONSIBLE TO VERIFY THE LOCATION AND DEPTH OF THE EXISTING WATER LINES PRIOR TO CONSTRUCTION.
- REQUIRED 18-INCH VERTICAL SEPARATION BETWEEN PROPOSED WATER LINES AND OTHER EXISTING AND PROPOSED UTILITIES LINE SHALL BE VERIFIED DURING
- CONSTRUCTION. IF EXISTING WATER SERVICE LINE IS TO BE REMOVED AND ABANDONED, THE SERVICE SHALL BE REMOVED BACK TO THE CORPORATION STOP AND CAPPED AT THE WATER
- MAIN LINE IN THE PRESENCE OF THE INSPECTOR, OTHER EXISTING AND ABANDONED WATER SERVICE STRUCTURES WILL BE REMOVED IN THE PRESENCE OF THE INSPECTOR. WATER METER BOXES ARE TO HAVE 1-INCH TYPE "K" COPPER SERVICE LINE. THE SERVICE LINE MUST BE CONTINUOUS FROM THE MAIN TO THE WATER METER AND SHALL HAVE A MINIMUM COVER OF 48". ALL JOINTS SHALL BE FLARED. THE SERVICE LINE SHALL CONNECT TO THE MAIN LINE WITH A DIRECT TAP WITH A CORPORATION COCK WITH A MINIMUM OF 18" BETWEEN TAPS.WATER METER BOX SHALL BE A POLYETHELENE METER BOX (MODEL 1219-18-1MKF DEEP) WITH POLYETHELENE LID (MODEL 1219-18-1MKF DEEP). LID FOR STRETCH YOKE BOX SHALL BE DFW MODEL 6514-1-MKF DEEP WITH OBLONG
- KNOCK OUT AND 1/2-INCH RECESS FOR METER ANTENNAE WITH A FERROUS MAGNET IN THE LID AND A PLASTIC LOCKING MECHANISM. FOR RESIDENTIAL SUBDIVISIONS: NO INDIVIDUAL METERS ARE TO BE PLACED IN A
- CONCRETE SIDEWALK OR DRIVEWAY. METERS MUST BE MAINTAINED IN GRASS AREAS. THE CONTRACTOR SHALL INSTALL CAST IRON WATER METER BOXES AND 1" TYPE "K"
- COPPER SERVICE LINES FOR ALL SERVICES INCLUDING CUL-DE-SACS. LOT LINES WILL BE CLEARLY IDENTIFIED AND MARKED ON TOP OF CURBS BEFORE THE
- WATER MAIN IS INSTALLED. M. CONDUIT ACROSS THE ROAD, FOR INSTALLATION OF WATER SERVICES, IS TO BE INSTALLED BY THE DEVELOPER PRIOR TO PAVING. MATERIAL FOR CONDUIT SHALL BE PVC PIPE OR APPROVED ALTERNATE AND IS TO BE INSTALLED 3 JFEET BELOW FINAL
- N. A 6" P.V.C. CONDUIT WILL BE USED TO ACCESS ALL LOTS ON OPPOSITE SIDES OF THE STREET, EXCEPT IN CUL-DE-SACS. INSPECTOR MUST BE NOTIFIED 24 HOURS BEFORE
- CONSTRUCTION BEGINS. THRUST BLOCKING WILL BE USED AT ALL BENDS, PLUGS, TEES, AND FIRE HYDRANTS. FIRE HYDRANTS SHOWN IN THE RADIUS OF A CURVE SHALL BE FIELD ADJUSTED SO THAT
- THE ACTUAL INSTALLATION OF FIRE HYDRANTS WILL BE OUTSIDE OF CURVE RADIUS. ALL SAMPLING STATIONS AND AUTOMATIC FLUSHING STATIONS INSTALLED WITHIN A DEVELOPMENT SHALL BE METERED AND THE SAMPLING STATION SHALL BE OWNED AND MAINTAINED BY THE HOA. ALL LINES 6" DIAMETER OR GREATER MUST BE PRESSURE
- TESTED AT 250 PSI FOR A MINIMUM OF TWO (2) HOURS. WATER TAPS, SERVICE LINES, AND METER BOXES IN RESIDENTIAL SUBDIVISIONS WILL BE INSTALLED BY THE DEVELOPER PER CURRENT FULTON COUNTY SPECIFICATIONS. ALL REQUIRED OFF SITE EASEMENTS SHALL BE DEDICATED TO FULTON COUNTY PRIOR
- TO UTILITY PERMITTING. ALL PUBLIC ON-SITE EASEMENTS FOR OTHER THAN SINGLE FAMILY RESIDENTIAL PROJECTS THAT WILL BE FINAL PLATTED SHALL BE DEDICATED TO FULTON COUNTY PRIOR TO WATER RESOURCES PERMIT APPROVAL. FOR RESIDENTIAL PROJECTS WHERE ONSITE WATER EASEMENTS ARE TO BE DEDICATED TO FULTON COUNTY, THE FOLLOWING APPLIES: WATER EASEMENT INSIDE PROPERTY
- LINE TO BE SHOWN IN FINAL PLAT FOR RECORDING. ANY CHANGES TO THE WATER DRAWINGS MUST BE APPROVED BY FULTON COUNTY. NOTIFY FULTON COUNTY INSPECTOR 24-HOURS PRIOR TO CONSTRUCTION.



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LAND PLANNING CIVIL ENGINEERING LANDSCAPE ARCHITECTURE



REVISIONS: 05/20/2022 | CONCEPT REVISION 1 06/23/2022 FULTON COUNTY SUB 08/05/2022 FULTON HEALTH DEPT 09/23/2022 | CONCEPT REVISION 2 10/07/2022 | CONCEPT REVISION 3

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SEEFRIED INDUSTRIAL PROPERTIES 3333 RIVERWOOD PARKWAY SE

MATTBRUNE@SEEFRIEDPROPERTIES.COM

OWNER/DEVELOPER (PRIMARY PERMITTEE)

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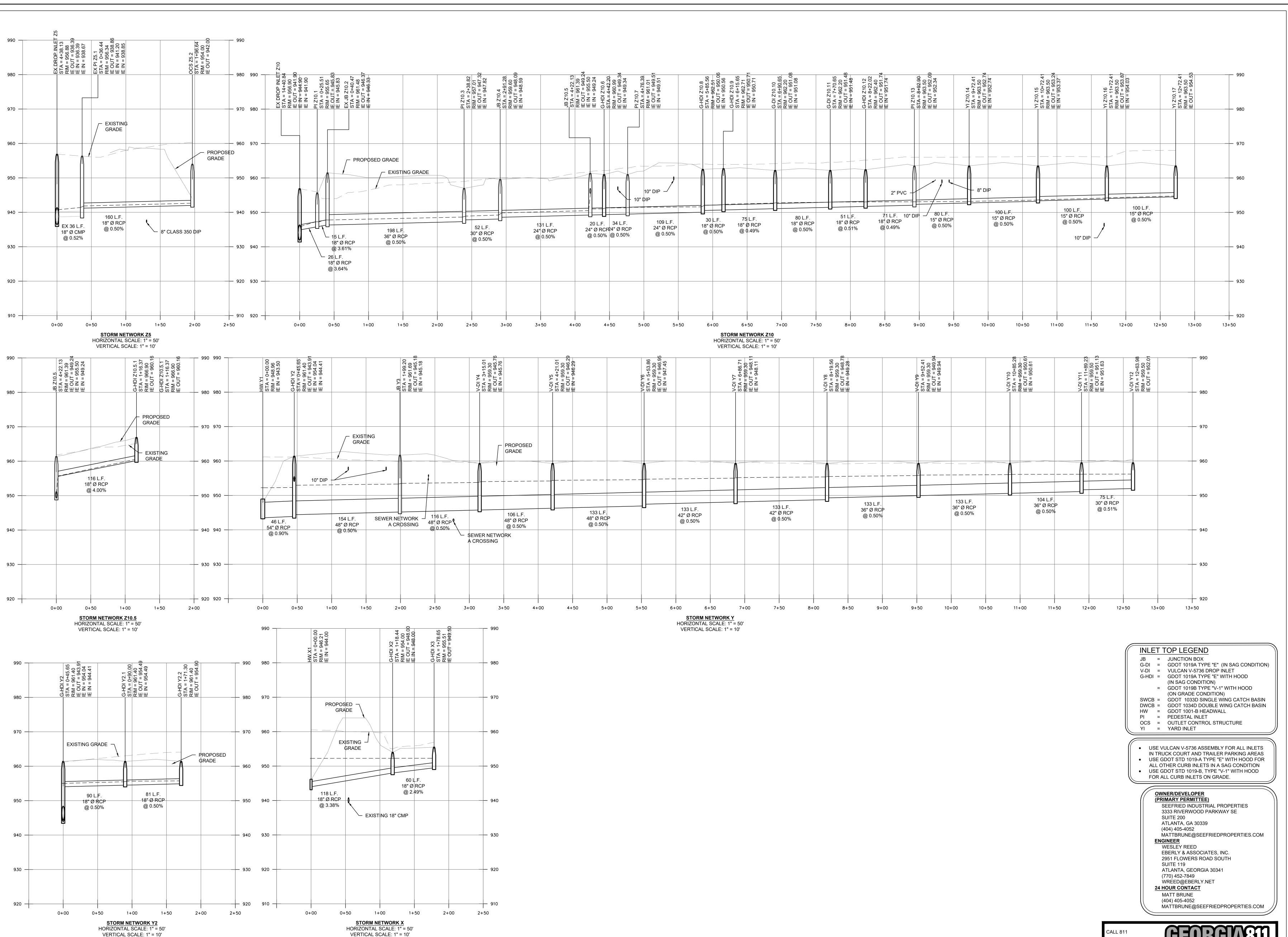
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CIVIL ENGINEERING

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K BUILDING C

LAND LOT 33 & 34 9F DISTRICT 760 SPENCE ROAD, FAIRB FULTON COUNTY, GEORC

REVISIONS:

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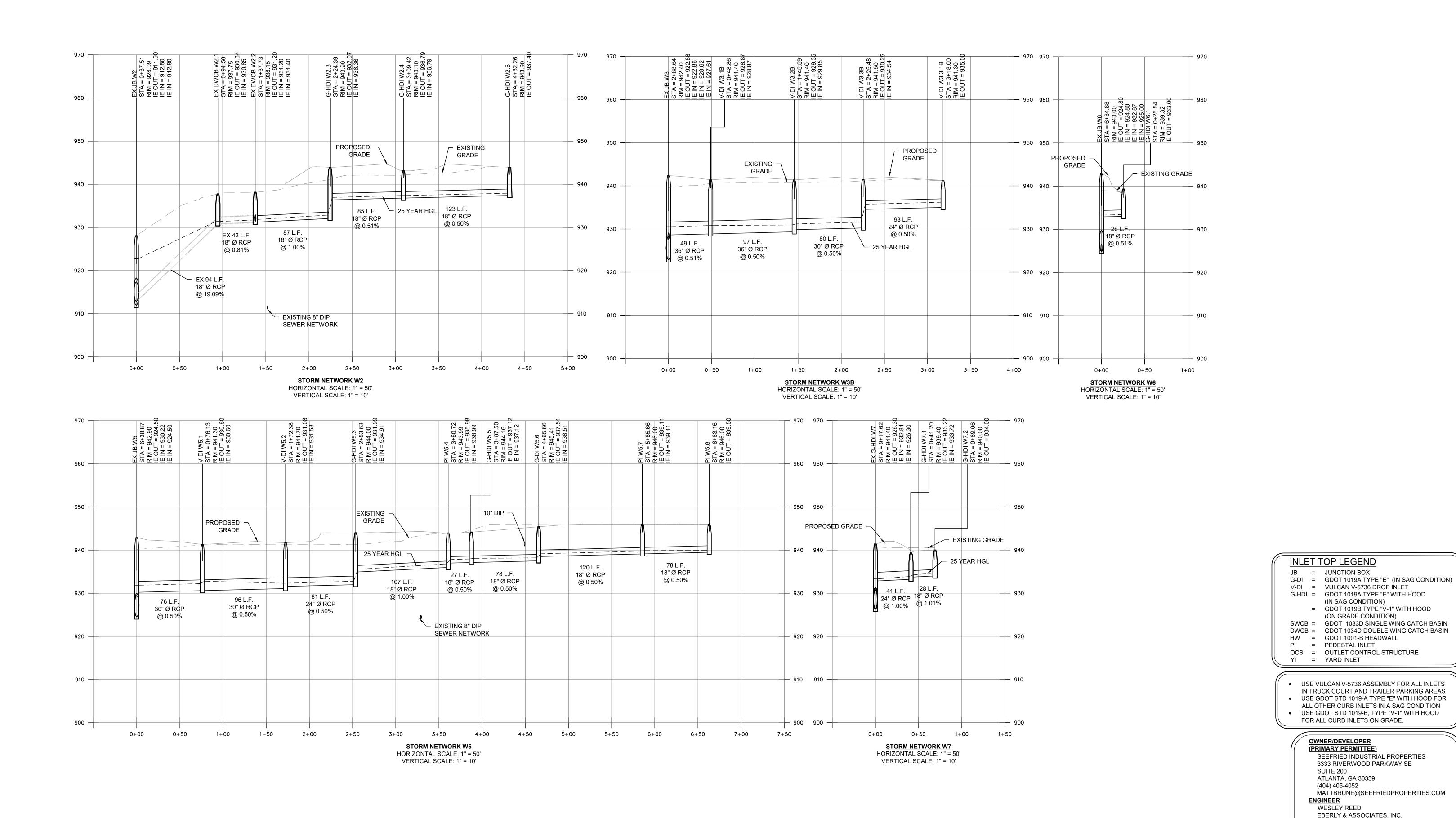
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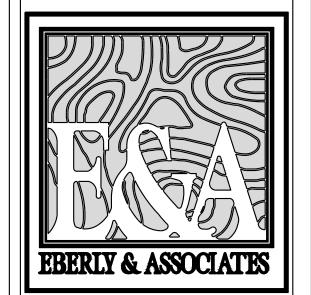
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ENGINEER

(PRIMARY PERMITTEE)

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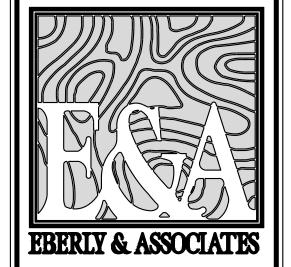
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					21	Year Pipe C	`hart							
InletID	DrainageArea	Grnd/RimElev Up	HGI Inct	InvertDn		•		LineSlope	LineType	n-valuePine	RunoffCoeff	FlowRate	VelAve	IncrQ
	(ac)	(ft)	(ft)	(ft)	(ft)	(ft)	(in)	(%)	2		(C)	(cfs)	(ft/s)	(cfs)
G-HDI X2	0.16	954	952.27	944	948	118.439	18	3.38	RCP	0.013	0.68	1.4	0.79	0.92
G-HDI X3	0.08	955.51	952.28	948	949.5	60.211	18	2.49	RCP	0.013	0.95	0.64	0.36	0.64
G-HDI Y2	0.5	961.4	952.96	943.5	943.91	45.654	54	0.9	RCP	0.013	0.84	75.19	4.73	3.55
G-HDI Y2.1	0.3	961.4	955.64	954.04	954.49	90	18	0.5	RCP	0.013	0.86	5.7	4.63	2.18
G-HDI Y2.2	0.75	961.4	955.94	954.49	954.9	81.304	18	0.5	RCP	0.013	0.58	3.67	3.09	3.67
JB Y3	0	961.69	953.5	944.41	945.18	153.548	48	0.5	RCP	0.013	0	68.59	5.46	0
V-DI Y4	1.25	959.3	954.01	945.18	945.76	115.807	48	0.5	RCP	0.013	0.95	69.39	5.52	10.03
V-DI Y5	1.25	959.3	954.39	945.76	946.29	106	48	0.5	RCP	0.013	0.95	61.75	4.91	10.03
V-DI Y6	1.25	959.3	954.73	946.29	946.95	132.85	48	0.5	RCP	0.013	0.95	54.2	4.31	10.03
V-DI Y7	1.25	959.3	955.19	947.45	948.11	132.85	42	0.5	RCP	0.013	0.95	46.29	4.81	10.03
V-DI Y8	1.25	959.3	955.5	948.11	948.78	132.85	42	0.5	RCP	0.013	0.95	38.26	3.98	10.03
V-DI Y9	1.25	959.3	955.91	949.28	949.94	132.85	36	0.5	RCP	0.013	0.95	29.87	4.23	10.03
V-DI Y10	1.25	959.3	956.11	949.94	950.61	132.875	36	0.5	RCP	0.013	0.95	21.33	3.02	10.03
V-DI Y11	0.6	959.5	956.17	950.61	951.13	103.95	36	0.5	RCP	0.013	0.95	12.44	1.76	4.82
V-DI Y12	1	959.5	956.25	951.63	952.01	74.75	30	0.51	RCP	0.013	0.95	8.03	1.64	8.03
EX DROP INLET Z5	2	956.88	940.76	934.86	936.39	305.991	60	0.5	CMP	0.024	0.95	93.79	5.78	16.05
EX DROP INLET Z10	2	956.9	944.86	940.92	941.9	196.201	54	0.5	CMP	0.024	0.95	46.85	4.99	16.05
PI Z10.1	0.4	955.65	947.28	944.9	945.83	25.515	18	3.64	RCP	0.013	0.4	17.6	11.43	1.35
EX JB Z10.2	0	961.48	947.81	945.83	946.37	14.955	18	3.61	CMP	0.024	0	16.79	9.63	0
PI Z10.3	1.3	957.01	948.64	946.33	947.32	198.435	36	0.5	RCP	0.013	0.82	17.16	5.33	9.01
JB Z10.4	0	959.6	949.23	947.82	948.09	52.372	30	0.5	RCP	0.013	0	11.69	5.46	0
JB Z10.5	0	961.39	951	948.59	949.24	130.925	24	0.5	RCP	0.013	0	11.8	5.57	0
G-HDI Z10.5.1	0.1	966.9	960.49	955.5	960.16	116.374	18	4	RCP	0.013	0.95	0.8	4.23	0.8
G-HDI Z10.6	0.5	960.99	951.3	949.24	949.34	20	24	0.5	RCP	0.013	0.71	11.32	3.93	3
PI Z10.7	0.1	961.01	951.48	949.34	949.51	34.266	24	0.5	RCP	0.013	0.4	9.47	3.09	0.34
G-HDI Z10.8	0.4	962.51	951.9	949.51	950.06	109.178	24	0.5	RCP	0.013	0.54	9.35	3.28	1.82
G-HDI Z10.9	0.3	962.71	952.38	950.56	950.71	30	18	0.5	RCP	0.013	0.86	8.21	4.64	2.18
G-DI Z10.10	0.5	962.2	952.81	950.71	951.08	75	18	0.49	RCP	0.013	0.84	6.86	3.88	3.55
G-DI Z10.11	0.5	962.2	953.02	951.08	951.48	80	18	0.5	RCP	0.013	0.84	4.63	2.62	3.55
G-HDI Z10.12	0.3	962.4	953.07	951.48	951.74	51.245	18	0.51	RCP	0.013	0.77	2.37	1.4	1.95
PI Z10.13	0.1	963.5	953.09	951.74	952.09	70.821	18	0.49	RCP	0.013	0.4	1.14	0.8	0.34
YI Z10.14	0.1	963.5	953.22	952.34	952.74	79.506	15	0.5	PVC	0.013	0.4	0.94	1.88	0.34
YI Z10.15	0.1	963.5	953.58	952.74	953.24	100	15	0.5	PVC	0.013	0.4	0.74	2.26	0.34
YI Z10.16	0.1	963.5	954.21	953.37	953.87	100	15	0.5	PVC	0.013	0.4	0.54	2.49	0.34
YI Z10.17	0.1	963.5	954.83	954.03	954.53	100	15	0.5	PVC	0.013	0.4	0.34	2.18	0.34
EX PI Z5.1	1	956.34	941.71	938.67	938.86	36.49	18	0.52	CMP	0.024	0.4	7.57	4.28	3.38
OCS Z5.2	0	954	942.87	941.2	942	160.253	18	0.5	RCP	0.013	0	2.78	3.9	2.78

					10	0 Year Pipe (Chart							
InletID	DrainageArea	Grnd/RimElev Up	HGLJnct	InvertDn	InvertUp	LineLength	LineSize	LineSlope	LineType	n-valuePipe	RunoffCoeff	FlowRate	VelAve	IncrC
	(ac)	(ft)	(ft)	(ft)	(ft)	(ft)	(in)	(%)			(C)	(cfs)	(ft/s)	(cfs)
G-HDI X2	0.16	954	952.64	944	948	118.439	18	3.38	RCP	0.013	0.68	1.69	0.96	1.09
G-HDI X3	0.08	955.51	952.65	948	949.5	60.211	<u>1</u> 8	2.49	RCP	0.013	0.95	0.76	0.43	0.76
G-HDI Y2	0.5	961.4	953.68	943.5	943.91	45.654	54	0.9	RCP	0.013	0.84	92.54	5.82	4.2
G-HDI Y2.1	0.3	961.4	955.79	954.04	954.49	90	18	0.5	RCP	0.013	0.86	6.78	4.76	2.58
G-HDI Y2.2	0.75	961.4	956.08	954.49	954.9	81.304	18	0.5	RCP	0.013	0.58	4.35	3.09	4.35
JB Y3	0	961.69	954.49	944.41	945.18	153.548	48	0.5	RCP	0.013	0	84.18	6.7	0
V-DI Y4	1.25	959.3	955.26	945.18	945.76	115.807	48	0.5	RCP	0.013	0.95	84.98	6.76	11.86
V-DI Y5	1.25	959.3	955.83	945.76	946.29	106	48	0.5	RCP	0.013	0.95	75.46	6.01	11.86
V-DI Y6	1.25	959.3	956.32	946.29	946.95	132.85	48	0.5	RCP	0.013	0.95	66.02	5.25	11.86
V-DI Y7	1.25	959.3	957.01	947.45	948.11	132.85	42	0.5	RCP	0.013	0.95	56.23	5.84	11.86
V-DI Y8	1.25	959.3	957.47	948.11	948.78	132.85	42	0.5	RCP	0.013	0.95	46.3	4.81	11.86
V-DI Y9	1.25	959.3	958.06	949.28	949.94	132.85	36	0.5	RCP	0.013	0.95	36.02	5.1	11.86
V-DI Y10	1.25	959.3	958.35	949.94	950.61	132.875	36	0.5	RCP	0.013	0.95	25.59	3.62	11.86
V-DI Y11	0.6	959.5	958.44	950.61	951.13	103.95	36	0.5	RCP	0.013	0.95	14.81	2.1	5.69
V-DI Y12	1	959.5	958.54	951.63	952.01	74.75	30	0.51	RCP	0.013	0.95	9.49	1.93	9.49
EX DROP INLET Z5	2	956.88	943.6	934.86	936.39	305.991	60	0.5	CMP	0.024	0.95	131.13	6.68	18.98
EX DROP INLET Z10	2	956.9	947.81	940.92	941.9	196.201	54	0.5	CMP	0.024	0.95	60.22	3.79	18.98
PI Z10.1	0.4	955.65	950.27	944.9	945.83	25.515	18	3.64	RCP	0.013	0.4	22.62	12.8	1.6
EX JB Z10.2	0	961.48	953.2	945.83	946.37	14.955	18	3.61	CMP	0.024	0	21.58	12.21	0
PI Z10.3	1.3	957.01	953.64	946.33	947.32	198.435	36	0.5	RCP	0.013	0.82	22	3.11	10.65
JB Z10.4	0	959.6	953.85	947.82	948.09	52.372	30	0.5	RCP	0.013	0	14.97	3.05	0
JB Z10.5	0	961.39	954.8	948.59	949.24	130.925	24	0.5	RCP	0.013	0	15.09	4.8	0
G-HDI Z10.5.1	0.1	966.9	960.52	955.5	960.16	116.374	18	4	RCP	0.013	0.95	0.95	4.44	0.95
G-HDI Z10.6	0.5	960.99	955.23	949.24	949.34	20	24	0.5	RCP	0.013	0.71	14.47	4.61	3.55
PI Z10.7	0.1	961.01	955.55	949.34	949.51	34.266	24	0.5	RCP	0.013	0.4	12.1	3.85	0.4
G-HDI Z10.8	0.4	962.51	956.18	949.51	950.06	109.178	24	0.5	RCP	0.013	0.54	11.93	3.8	2.16
G-HDI Z10.9	0.3	962.71	956.75	950.56	950.71	30	18	0.5	RCP	0.013	0.86	10.47	5.93	2.58
G-DI Z10.10	0.5	962.2	957.46	950.71	951.08	75	18	0.49	RCP	0.013	0.84	8.75	4.95	4.2
G-DI Z10.11	0.5	962.2	957.8	951.08	951.48	80	18	0.5	RCP	0.013	0.84	5.9	3.34	4.2
G-HDI Z10.12	0.3	962.4	957.9	951.48	951.74	51.245	18	0.51	RCP	0.013	0.77	3.01	1.71	2.31
PI Z10.13	0.1	963.5	957.92	951.74	952.09	70.821	18	0.49	RCP	0.013	0.4	1.44	0.81	0.4
YI Z10.14	0.1	963.5	957.95	952.34	952.74	79.506	15	0.5	PVC	0.013	0.4	1.18	0.96	0.4
YI Z10.15	0.1	963.5	957.98	952.74	953.24	100	15	0.5	PVC	0.013	0.4	0.93	0.76	0.4
YI Z10.16	0.1	963.5	957.99	953.37	953.87	100	15	0.5	PVC	0.013	0.4	0.67	0.55	0.4
YI Z10.17	0.1	963.5	958	954.03	954.53	100	15	0.5	PVC	0.013	0.4	0.4	0.33	0.4
EX PI Z5.1	1	956.34	949.46	938.67	938.86	36.49	18	0.52	CMP	0.024	0.4	18.77	10.62	4
OCS Z5.2	0	954	952.71	941.2	942	160.253	18	0.5	RCP	0.013	0	12.92	7.31	12.92

							T		T T		Γ	Г		r Pipe Chart	1			1					I	ı	
Inlet ID		nletTime	1	RunoffCoef		•			JunctType (- J		<u> </u>				CrossSlope, Sw	· · · ·	Local Depr.	· ·					d BypassLine No
	(ac)	(min)	(in/hr)	(C)	(cfs)	(cfs)	(cfs)	(cfs)		(in)	(ft)	(sqft)	(ft)	(ft)	(ft/ft)	(ft)	(ft/ft)	(ft/ft)	(in)	(ft)	(ft)	(ft)	(ft)	(ft)	
G-HDI X2	0.16	5	8.45	0.68	0.92	0	0.57	0.35	Comb.	4.5	2.58		2.38	1.75	0.02	1.5	0.02	0.02	0	0.11	0.08	3.94	0.11	5.68	Offsite
G-HDI X3	0.08	5	8.45	0.95	0.64	0	0.44	0.2	Comb.	4.5	2.58		2.38	1.75	0.02	1.5	0.02	0.02	0	0.1	0.06	3.23	0.1	4.96	Offsite
G-HDI Y2	0.5	5	8.45	0.84	3.55	0	3.55	0	Comb.	4.5	2.58	1.53	2.38	1.75	Sag	1.5	0.02	0.02	0	0.35	n/a	n/a	0.35	17.51	Sag
G-HDI Y2.1	0.3	5	8.45	0.86	2.18	0	2.18	0	Comb.	4.5	2.58	1.53	2.38	1.75	Sag	1.5	0.02	0.02	0	0.26	n/a	n/a	0.26	12.86	Sag
G-HDI Y2.2	0.75	5	8.45	0.58	3.67	0	3.67	0	Comb.	4.5	2.58	1.53	2.38	1.75	Sag	1.5	0.02	0.02	0	0.36	n/a	n/a	0.36	17.91	Sag
JB Y3	0	0	0	0	0				MH	****							••••								
V-DI Y4	1.25	5	8.45	0.95	10.03	0	10.03	0	Dp-Grate			3.28	1.81	1.81	Sag	2	0.02	0.02		0.6	n/a	n/a	0.6	61.74	Sag
V-DI Y5	1.25	5	8.45	0.95	10.03	0	10.03	0	Dp-Grate			3.28	1.81	1.81	Sag	2	0.02	0.02		0.6	n/a	n/a	0.6	61.74	Sag
V-DI Y6	1.25	5	8.45	0.95	10.03	0	10.03	0	Dp-Grate	••••		3.28	1.81	1.81	Sag	2	0.02	0.02		0.6	n/a	n/a	0.6	61.74	Sag
V-DI Y7	1.25	5	8.45	0.95	10.03	0	10.03	0	Dp-Grate	••••		3.28	1.81	1.81	Sag	2	0.02	0.02		0.6	n/a	n/a	0.6	61.74	Sag
V-DI Y8	1.25	5	8.45	0.95	10.03	0	10.03	0	Dp-Grate	••••		3.28	1.81	1.81	Sag	2	0.02	0.02		0.6	n/a	n/a	0.6	61.74	Sag
V-DI Y9	1.25	5	8.45	0.95	10.03	0	10.03	0	Dp-Grate	••••		3.28	1.81	1.81	Sag	2	0.02	0.02		0.6	n/a	n/a	0.6	61.74	Sag
V-DI Y10	1.25	5	8.45	0.95	10.03	0	10.03	0	Dp-Grate			3.28	1.81	1.81	Sag	2	0.02	0.02		0.6	n/a	n/a	0.6	61.74	Sag
V-DI Y11	0.6	5	8.45	0.95	4.82	0	4.82	0	Dp-Grate	****		3.28	1.81	1.81	Sag	2	0.02	0.02		0.37	n/a	n/a	0.37	38.61	Sag
V-DI Y12	1	5	8.45	0.95	8.03	1.72	9.75	0	Dp-Grate			3.28	1.81	1.81	Sag	2	0.02	0.02		0.59	n/a	n/a	0.59	60.61	Sag
X DROP INLET Z5	2	5	8.45	0.95	16.05				MH														****		
C DROP INLET Z10) 2	5	8.45	0.95	16.05				MH	****													****		
PI Z10.1	0.4	5	8.45	0.4	1.35	0	1.35	0	Dp-Curb	6	13				Sag		0.02	0.02		0.11	n/a	n/a	0.11	5.31	Sag
EX JB Z10.2	0	0	0	0	0				MH								••••								
PI Z10.3	1.3	5	8.45	0.82	9.01	0	9.01	0	Dp-Curb	6	13				Sag		0.02	0.02		0.38	n/a	n/a	0.38	18.81	Sag
JB Z10.4	0	0	0	0	0				MH																
JB Z10.5	0	0	0	0	0				MH																
G-HDI Z10.5.1	0.1	5	8.45	0.95	0.8	0	0.55	0.25	Comb.	4.5	2.58		2.38	1.75	0.05	1.5	0.02	0.02	0	0.09	0.06	2.93	0.09	4.55	G-HDI Z10.6
G-HDI Z10.6	0.5	5	8.45	0.71	3	0.25	1.52	1.72	Comb.	4.5	2.58		2.38	1.75	0.05	1.5	0.02	0.02	0	0.15	0.12	6.05	0.15	7.68	V-DI Y12
PI Z10.7	0.1	5	8.45	0.4	0.34	0	0.34	0	Dp-Curb	6	13				Sag		0.02	0.02		0.04	n/a	n/a	0.04	2.11	Sag
G-HDI Z10.8	0.4	5	8.45	0.54	1.82	0	1.82	0	Comb.	4.5	2.58	1.53	2.38	1.75	Sag	1.5	0.02	0.02	0	0.23	n/a	n/a	0.23	11.51	Sag
G-HDI Z10.9	0.3	5	8.45	0.86	2.18	0	2.18	0	Comb.	4.5	2.58	1.53	2.38	1.75	Sag	1.5	0.02	0.02	0	0.26	n/a	n/a	0.26	12.86	Sag
G-DI Z10.10	0.5	5	8.45	0.84	3.55	0	3.55	0	Dp-Grate	www.		2.58	2.38	1.75	Sag	1.5	0.02	0.02	****	0.27	n/a	n/a	0.27	29.1	Sag
G-DI Z10.11	0.5	5	8.45	0.84	3.55	0	3.55	0	Dp-Grate			1.53	2.38	1.75	Sag	1.5	0.02	0.02		0.27	n/a	n/a	0.27	29.1	Sag
G-HDI Z10.12	0.3	5	8.45	0.77	1.95	0	1.95	0	Comb.	4.5	2.58	1.53	2.38	1.75	Sag	1.5	0.02	0.02	0	0.24	n/a	n/a	0.24	12	Sag
PI Z10.13	0.1	5	8.45	0.4	0.34	0	0.34	0	Dp-Curb	6	13				Sag		0.01	0.01		0.04	n/a	n/a	0.04	4.21	Sag
YI Z10.14	0.1	5	8.45	0.4	0.34	0	0.34	0	Dp-Curb	6	1				Sag		0.01	0.01		0.23	n/a	n/a	0.23	23.31	Sag
YI Z10.15	0.1	5	8.45	0.4	0.34	0	0.34	0	Dp-Curb	6	1				Sag		0.01	0.01		0.23	n/a	n/a	0.23	23.31	Sag
YI Z10.16	0.1	5	8.45	0.4	0.34	0	0.34	0	Dp-Curb	6	1				Sag	****	0.01	0.01		0.23	n/a	n/a	0.23	23.31	Sag
YI Z10.17	0.1	5	8.45	0.4	0.34	0	0.34	0	Dp-Curb	6	1				Sag		0.01	0.01		0.23	n/a	n/a	0.23	23.31	Sag
EX PI Z5.1	1	5	8.45	0.4	3.38	0	3.38	0	Dp-Curb	4.5	13				Sag		0.02	0.02		0.2	n/a	n/a	0.2	9.78	Sag
OCS Z5.2	0	0	0	0	2.78				MH																

Part														100 Yea	r Inlet Chart											
G-First 2 16 5 97 088 100 0 085 0.44 Coreb 4.5 2.58 238 1.75 002 1.5 0.02 0.02 0 0.12 0.07 4.3 0.12 6.05 Offite G-First 3 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0	Inlet ID	Area	InletTim	e Int.	RunoffCoeff.	Q =CIA	Carry-over	r QCaptured	QBypassed	JunctType	CurbHeight	CurbLength	GrateArea	GrateLength	GrateWidth	GutterSlope	GutterWidth	CrossSlope, Sw	CrossSlope, Sx	Local Depr.	InletDepth	BypassDepth	BypassSpread	GutterDepth	GutterSpread	BypassLine No.
G-H0172 0.88 5 5 9.09 0.95 0.76 0.70 0.50 0.25 0.00 0.50 0.25 0.00 0.50 0.25 0.00 0.50 0.25 0.00 0.50 0.25 0.00 0.50 0.25 0.00 0.50 0.25 0.00 0.50 0.25 0.00 0.50 0.25 0.00 0.50 0.25 0.00 0.00		(ac)	(min)	(in/hr)	(C)	(cfs)	(cfs)	(cfs)	(cfs)		(in)	(ft)	(sqft)	(ft)	(ft)	(ft/ft)	(ft)	(ft/ft)	(ft/ft)	(in)	(ft)	(ft)	(ft)	(ft)	(ft)	
G-19797 B5 5 98 0.84 42 0 42 0 Comb. 45 5 2.88 1.53 2.88 1.75 5.98 1.55 0.02 0.03 0 0.30 n/s n/s n/s 0.88 1.85 5.98 0.96 2.78 1.85 5.98 0.96 2.78 1.85 0.96 0.96 2.88 1.85 0.02 0.02 0.02 0.02 0.02 n/s n/s n/s n/s n/s 0.98 1.98 5.99 0.96 2.88 1.85 0.02 0.02 0.02 0.02 0.03 0.03 0.00 0.0 0.0 0.0 0.0 0.0 0.0	G-HDI X2	0.16	5	9.99	0.68	1.09	0	0.65	0.44	Comb.	4.5	2.58		2.38	1.75	0.02	1.5	0.02	0.02	0	0.12	0.09	4.3	0.12	6.05	Offsite
G-9107/2 D 35 S 99 0.56 258 0 258 0 0 258 0 0 0.00 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	G-HDI X3	0.08	5	9.99	0.95	0.76	0	0.5	0.26	Comb.	4.5	2.58		2.38	1.75	0.02	1.5	0.02	0.02	0	0.11	0.07	3.55	0.11	5.29	Offsite
G-H0PLYZ 07 S S 999 0.55 188 0.3 0 Comb. 43 258 135 238 1.75 Sag 1	G-HDI Y2	0.5	5	9.99	0.84	4.2	0	4.2	0	Comb.	4.5	2.58	1.53	2.38	1.75	Sag	1.5	0.02	0.02	0	0.39	n/a	n/a	0.39	19.5	Sag
1893 0 0 0 0 0 0 0 0 0	G-HDI Y2.1	0.3	5	9.99	0.86	2.58	0	2.58	0	Comb.	4.5	2.58	1.53	2.38	1.75	Sag	1.5	0.02	0.02	0	0.29	n/a	n/a	0.29	14.3	Sag
V-P174	G-HDI Y2.2	0.75	5	9.99	0.58	4.35	0	4.35	0	Comb.	4.5	2.58	1.53	2.38	1.75	Sag	1.5	0.02	0.02	0	0.4	n/a	n/a	0.4	19.94	Sag
V-DYN 1.75 5 9.99 0.95 1.86 0 1.86 0 0.0-Gate 3.28 1.81 1.81 5.8g 2 0.02 0.02 0.67 n/s n/s 0.67 0.881 5.8g 0.95 1.86 0 0.0-Gate 3.28 1.81 1.81 5.8g 2 0.02 0.02 0.67 n/s n/s n/s 0.67 6.881 5.8g 0.95 1.86 0 1.86 0 0.0-Gate 3.28 1.81 1.81 5.8g 2 0.02 0.02 0.67 n/s n/s n/s 0.67 6.881 5.8g 0.95 1.85 0 1.86 0 0.0-Gate 3.28 1.81 1.81 5.8g 2 0.02 0.02 0.67 n/s n/s n/s 0.67 6.881 5.8g 0.95 0.95 1.86 0 1.86 0 0.0-Gate 3.28 1.81 1.81 5.8g 2 0.02 0.02 0.67 n/s n/s n/s n/s 0.67 6.881 5.8g 0.95	JB Y3	0	0	0	0	0			***	MH														****		
V-0197 1.25 5 9.99 0.95 1.186 0 11.68 0 0.05 cente 3.28 1.81 1.81 5.9g 2 0.02 0.02 0.07 n/a n/a 0.07 0.6881 5.9g V-0198 1.25 5 9.99 0.95 1.186 0 11.68 0 0.05 cente 3.28 1.81 1.81 5.9g 2 0.02 0.02 0.07 n/a n/a 0.07 0.6881 5.9g V-0198 1.25 5 9.99 0.95 1.186 0 11.68 0 0.05 cente 3.28 1.81 1.81 5.9g 2 0.02 0.02 0.07 n/a n/a 0.07 0.6881 5.9g V-0192 1.25 5 9.99 0.95 1.186 0 11.68 0 0.05 cente 3.28 1.81 1.81 5.9g 2 0.02 0.02 0.07 n/a n/a 0.07 0.6881 5.9g V-0192 1.05 5 9.99 0.95 1.186 0 1.188 0 0.05 cente 3.28 1.81 1.81 5.9g 2 0.02 0.02 0.07 n/a n/a 0.07 0.6881 5.9g V-0192 1.05 5 9.99 0.95 1.186 0 0.05 cente 3.28 1.81 1.81 5.9g 2 0.02 0.02 0.07 n/a n/a 0.07 0.6881 5.9g V-0192 1.05 5 9.99 0.95 1.86 0 1.188 0 0.05 cente 3.28 1.81 1.81 5.9g 2 0.02 0.02 0.07 n/a n/a n/a 0.07 0.6881 5.9g V-0192 1.05 5.99 0.05 1.86 0 0.05 cente 3.28 1.81 1.81 5.9g 2 0.02 0.02 0.04 n/a n/a 0.04 0.04 0.05 0.	V-DI Y4	1.25	5	9.99	0.95	11.86	0	11.86	0	Dp-Grate			3.28	1.81	1.81	Sag	2	0.02	0.02		0.67	n/a	n/a	0.67	68.81	Sag
V-0 Yr 1.75 5 9.99 0.05 11.86 O Dp-Grate 3.78 1.81 1.81 5.9g 2 0.07 N/h n/a 0.67 68.81 5.9g V O 179 1.25 5 9.99 0.95 11.86 O 11.86 O Dp-Grate 3.28 1.81 1.81 5.9g 2 0.02 0.02 0.07 n/h n/a 0.67 68.81 5.9g V-O 170 1.25 5 9.99 0.95 1.186 O Dp-Grate 3.28 1.81 1.81 5.9g 2 0.02 0.67 68.81 5.8g V-D 171 0.6 5 9.99 0.95 5.99 0 5.69 0 0.96-cate 3.28 1.81 1.81 1.81 5.8g 2 0.02 0.02 0.01 0.41 0.74 0.68 3.83 5.8g	V-DI Y5	1.25	5	9.99	0.95	11.86	0	11.86	0	Dp-Grate			3.28	1.81	1.81	Sag	2	0.02	0.02		0.67	n/a	n/a	0.67	68.81	Sag
1.5 1.	V-DI Y6	1.25	5	9.99	0.95	11.86	0	11.86	0	Dp-Grate			3.28	1.81	1.81	Sag	2	0.02	0.02		0.67	n/a	n/a	0.67	68.81	Sag
V-DY19 1.75 5 9.99 0.95 11.85 0 11.86 0 0 11.86 0 0 0 0 0 0 0 0 0	V-DI Y7	1.25	5	9.99	0.95	11.86	0	11.86	0	Dp-Grate			3.28	1.81	1.81	Sag	2	0.02	0.02		0.67	n/a	n/a	0.67	68.81	Sag
Mathematical Control	V-DI Y8	1.25	5	9.99	0.95	11.86	0	11.86	0	Dp-Grate			3.28	1.81	1.81	Sag	2	0.02	0.02		0.67	n/a	n/a	0.67	68.81	Sag
V-01/11 0.6 5 9.99 0.95 5.68 0 0.568 0 0.569 0 0 0 0 0 0 0 0 0	V-DI Y9	1.25	5	9.99	0.95	11.86	0	11.86	0	Dp-Grate			3.28	1.81	1.81	Sag	2	0.02	0.02		0.67	n/a	n/a	0.67	68.81	Sag
No color	V-DI Y10	1.25	5	9.99	0.95	11.86	0	11.86	0	Dp-Grate			3.28	1.81	1.81	Sag	2	0.02	0.02		0.67	n/a	n/a	0.67	68.81	Sag
EXPORPINIETIZE 2 5 9,99 0.95 18.98 MH MH .	V-DI Y11	0.6	5	9.99	0.95	5.69	0	5.69	0	Dp-Grate			3.28	1.81	1.81	Sag	2	0.02	0.02		0.41	n/a	n/a	0.41	42.95	Sag
EXBORDINETION 2 5 9.99 0.95 18.98 MH .	V-DI Y12	1	5	9.99	0.95	9.49	2.15	11.64	0	Dp-Grate			3.28	1.81	1.81	Sag	2	0.02	0.02		0.66	n/a	n/a	0.66	67.96	Sag
PIZIOLI	EX DROP INLET Z5	2	5	9.99	0.95	18.98				MH													****			
EXIBZIDLE 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	EX DROP INLET Z10	2	5	9.99	0.95	18.98			:::	MH					****									****		
P Z10.3 13 5 9.99 0.82 10.65 0 10.65 0 0.0 0.0 0 0 0 0 0 0	PI Z10.1	0.4	5	9.99	0.4	1.6	0	1.6	0	Dp-Curb	6	13				Sag		0.02	0.02		0.12	n/a	n/a	0.12	5.94	Sag
BZ10.4 O O O O O O O O O	EX JB Z10.2	0	0	0	0	0				MH					****	••••	****	****	••••				****	****		
BZ10.5 O O O O O O O O O	PI Z10.3	1.3	5	9.99	0.82	10.65	0	10.65	0	Dp-Curb	6	13				Sag		0.02	0.02		0.42	n/a	n/a	0.42	21.04	Sag
G-HDI Z10.5.1 0.1 5 9.99 0.95 0.95 0.9 0.95 0.95 0.0 0.63 0.32 0.00 0.4 5 2.58 0 2.38 1.75 0.05 1.5 0.02 0.02 0.02 0 0.1 0.06 3.22 0.1 4.84 G-HDI Z10.6 G-HDI Z10.6 G-HDI Z10.6 0.5 5 9.99 0.4 0.4 0.0 0.4 0.0 0.4 0.0 0.00 0.0	JB Z10.4	0	0	0	0	0				MH							••••									****
G-HDI 210.6 0.5 5 9.99 0.71 3.55 0.32 1.72 2.15 Comb. 4.5 2.58 2.38 1.75 0.05 1.5 0.02 0.02 0 0.16 0.13 6.57 0.16 8.19 V-DI V12 P1210.7 0.1 5 9.99 0.4 0.4 0.4 0 0.4 0 0.4 0 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0	JB Z10.5	0	0	0	0	0				MH						••••			••••			••••	••••			
P Z 0.7 0.1 5 9.99 0.4 0.4 0.4 0.4 0.0 0.4 0.0 0.5 0	G-HDI Z10.5.1	0.1	5	9.99	0.95	0.95	0	0.63	0.32	Comb.	4.5	2.58		2.38	1.75	0.05	1.5	0.02	0.02	0	0.1	0.06	3.22	0.1	4.84	G-HDI Z10.6
G-HDI Z10.8	G-HDI Z10.6	0.5	5	9.99	0.71	3.55	0.32	1.72	2.15	Comb.	4.5	2.58		2.38	1.75	0.05	1.5	0.02	0.02	0	0.16	0.13	6.57	0.16	8.19	V-DI Y12
G-HDI Z10.10 0.5 5 9.99 0.86 2.58 0 2.58 0 Comb. 4.5 2.58 1.53 2.38 1.75 Sag 1.5 0.02 0.02 0 0.29 n/a n/a 0.29 14.3 Sag G-DI Z10.10 0.5 5 9.99 0.84 4.2 0 4.2 0 Dp-Grate 1.53 2.38 1.75 Sag 1.5 0.02 0.02 0.02 0.31 n/a n/a 0.31 32.34 Sag G-DI Z10.11 0.5 5 9.99 0.84 4.2 0 4.2 0 Dp-Grate 1.53 2.38 1.75 Sag 1.5 0.02 0.02 0.02 0.31 n/a n/a 0.31 32.34 Sag G-DI Z10.11 0.5 5 9.99 0.77 2.31 0 2.31 0 Comb. 4.5 2.58 1.53 2.38 1.75 Sag 1.5 0.02 0.02 0.02 0.31 n/a n/a 0.31 32.34 Sag G-DI Z10.12 0.3 5 9.99 0.4 0.4 0.4 0 Dp-Curb 6 13 1.53 2.38 1.75 Sag 1.5 0.02 0.02 0.02 0.02 0.02 0.02 0.02 0.	PI Z10.7	0.1	5	9.99	0.4	0.4	0	0.4	0	Dp-Curb	6	13				Sag		0.02	0.02		0.05	n/a	n/a	0.05	2.36	Sag
G-DI Z10.10 0.5 5 9.99 0.84 4.2 0 4.2 0 0 p-Grate 1.53 2.38 1.75 Sag 1.5 0.02 0.02 0.31 n/a n/a 0.31 32.34 Sag 1.5 Sag 1.5 0.02 0.02 0.31 n/a n/a 0.31 32.34 Sag 1.5 Sag 1.5 0.02 0.02 0.31 n/a n/a 0.31 32.34 Sag 1.5 Sag 1.5 0.02 0.02 0.31 n/a n/a 0.31 32.34 Sag 1.5 Sag 1.5 0.02 0.02 0.02 0.02 0.02 0.02 0.02 0.	G-HDI Z10.8	0.4	5	9.99	0.54	2.16	0	2.16	0	Comb.	4.5	2.58	1.53	2.38	1.75	Sag	1.5	0.02	0.02	0	0.26	n/a	n/a	0.26	12.78	Sag
G-DI Z10.11 0.5 5 9.99 0.84 4.2 0 4.2 0 Dp-Grate 1.53 2.38 1.75 Sag 1.5 0.02 0.02 0.31 n/a n/a 0.31 32.34 Sag G-HDI Z10.12 0.3 5 9.99 0.77 2.31 0 2.31 0 Comb. 4.5 2.58 1.53 2.38 1.75 Sag 1.5 0.02 0.02 0 0.27 n/a n/a 0.27 13.33 Sag PI Z10.13 0.1 5 9.99 0.4 0.4 0.4 0 0 0.4 0 Dp-Curb 6 13 Sag 0.01 0.01 0.05 n/a n/a 0.26 26.06 Sag YI Z10.15 0.1 5 9.99 0.4 0.4 0.4 0 0 0.4 0 Dp-Curb 6 1 Sag Sag 0.01 0.01 0.01 0.26 n/a n/a 0.26 26.06 Sag YI Z10.16 0.1 5 9.99 0.4 0.4 0.4 0 0 0.4 0 Dp-Curb 6 1 Sag Sag 0.01 0.01 0.01 0.26 n/a n/a 0.26 26.06 Sag YI Z10.16 0.1 5 9.99 0.4 0.4 0.4 0 0 0.4 0 Dp-Curb 6 1 Sag Sag 0.01 0.01 0.01 0.26 n/a n/a 0.26 26.06 Sag YI Z10.17 0.1 5 9.99 0.4 0.4 0.4 0 0 0.4 0 Dp-Curb 6 1 Sag Sag 0.01 0.01 0.01 0.26 n/a n/a n/a 0.26 26.06 Sag YI Z10.17 0.1 5 9.99 0.4 0.4 0.4 0 0 0.4 0 Dp-Curb 6 1 Sag Sag 0.01 0.01 0.01 0.26 n/a n/a n/a 0.26 26.06 Sag YI Z10.17 0.1 5 9.99 0.4 0.4 0.4 0 0 0.4 0 Dp-Curb 6 1 Sag Sag 0.01 0.01 0.01 0.26 n/a n/a n/a 0.26 26.06 Sag YI Z10.17 0.1 5 9.99 0.4 0.4 0 0 0.4 0 Dp-Curb 6 1 Sag Sag 0.01 0.01 0.01 0.26 n/a n/a n/a 0.26 26.06 Sag YI Z10.17 0.1 5 9.99 0.4 0.4 0 0 0.4 0 Dp-Curb 6 1 Sag Sag 0.01 0.01 0.01 0.26 n/a n/a n/a 0.26 26.06 Sag EXPIZ5.1 1 5 9.99 0.4 0.4 0 0 0.4 0 Dp-Curb 4.5 13 Sag Sag 0.01 0.01 0.01 0.22 n/a n/a n/a 0.22 10.94 Sag	G-HDI Z10.9	0.3	5	9.99	0.86	2.58	0	2.58	0	Comb.	4.5	2.58	1.53	2.38	1.75	Sag	1.5	0.02	0.02	0	0.29	n/a	n/a	0.29	14.3	Sag
G-HDI Z10.12 0.3 5 9.99 0.77 2.31 0 2.31 0 Comb. 4.5 2.58 1.53 2.38 1.75 Sag 1.5 0.02 0.02 0 0.27 n/a n/a 0.27 13.33 Sag 1.51 Sag 1.51 Sag 1.51 Sag 1.52 Sag 1.53 Sag 1.54 Sag 1.55 Sag	G-DI Z10.10	0.5	5	9.99	0.84	4.2	0	4.2	0	Dp-Grate			2.58	2.38	1.75	Sag	1.5	0.02	0.02		0.31	n/a	n/a	0.31	32.34	Sag
PI Z10.13 0.1 5 9.99 0.4 0.4 0 0.90-Curb 6 13 Sag 0.01 0.01 0.01 0.05 n/a n/a 0.05 4.71 Sag YI Z10.14 0.1 5 9.99 0.4 0.4 0 0.90-Curb 6 1 Sag 0.01 0.01 0.01 0.26 n/a n/a 0.26 26.06 Sag YI Z10.15 0.1 5 9.99 0.4 0.4 0 0.9-Curb 6 1 Sag 0.01 0.01 0.01 0.26 n/a n/a 0.26 26.06 Sag YI Z10.15 0.1 5 9.99 0.4 0.4 0 0.9-Curb 6 1 Sag 0.01 0.01 0.26	G-DI Z10.11	0.5	5	9.99	0.84	4.2	0	4.2	0	Dp-Grate			1.53	2.38	1.75	Sag	1.5	0.02	0.02		0.31	n/a	n/a	0.31	32.34	Sag
YI Z10.14 0.1 5 9.99 0.4 0.4 0 0.04 0 Dp-Curb 6 1 Sag 0.01 0.01 0.01 0.26 n/a n/a 0.26 26.06 Sag YI Z10.15 0.1 5 9.99 0.4 0.4 0 0.4 0 Dp-Curb 6 1 Sag 0.01 0.01 0.26 n/a n/a 0.26 26.06 Sag YI Z10.16 0.1 5 9.99 0.4 0.4 0 0.4 0 Dp-Curb 6 1 Sag 0.01 0.26 n/a n/a n/a 0.26 26.06 Sag YI Z10.17 0.1 5 9.99 0.4 0 0 0 0 0 0 0 0 0 0 0 0 <t< td=""><td>G-HDI Z10.12</td><td>0.3</td><td>5</td><td>9.99</td><td>0.77</td><td>2.31</td><td>0</td><td>2.31</td><td>0</td><td>Comb.</td><td>4.5</td><td>2.58</td><td>1.53</td><td>2.38</td><td>1.75</td><td>Sag</td><td>1.5</td><td>0.02</td><td>0.02</td><td>0</td><td>0.27</td><td>n/a</td><td>n/a</td><td>0.27</td><td>13.33</td><td>Sag</td></t<>	G-HDI Z10.12	0.3	5	9.99	0.77	2.31	0	2.31	0	Comb.	4.5	2.58	1.53	2.38	1.75	Sag	1.5	0.02	0.02	0	0.27	n/a	n/a	0.27	13.33	Sag
YI Z10.15 0.1 5 9.99 0.4 0.4 0 0.4 0 Dp-Curb 6 1 Sag 0.01 0.01 0.26 n/a n/a 0.26 26.06 Sag YI Z10.16 0.1 5 9.99 0.4 0.4 0 0.4 0 Dp-Curb 6 1 Sag 0.01 0.01 0.26 n/a n/a n/a 0.26 26.06 Sag YI Z10.17 0.1 5 9.99 0.4 0.4 0 0.4 0 Dp-Curb 6 1 Sag 0.01 0.01 0.26 n/a n/a n/a 0.26 26.06 Sag EX PI Z5.1 1 5 9.99 0.4 4 0 Dp-Curb 4.5 13 Sag 0.02	PI Z10.13	0.1	5	9.99	0.4	0.4	0	0.4	0	Dp-Curb	6	13				Sag		0.01	0.01		0.05	n/a	n/a	0.05	4.71	Sag
YI Z10.16 0.1 5 9.99 0.4 0.4 0 0.4 0 Dp-Curb 6 1 Sag 0.01 0.01 0.26 n/a n/a 0.26 26.06 Sag YI Z10.17 0.1 5 9.99 0.4 0.4 0 0.4 0 Dp-Curb 6 1 Sag 0.01 0.01 0.26 n/a n/a 0.26 26.06 Sag EX PI Z5.1 1 5 9.99 0.4 4 0 4 0 Dp-Curb 4.5 13 Sag 0.02 0.02 0.22 n/a n/a 0.22 10.94 Sag	YI Z10.14	0.1	5	9.99	0.4	0.4	0	0.4	0	Dp-Curb	6	1				Sag		0.01	0.01		0.26	n/a	n/a	0.26	26.06	Sag
YI Z10.17 0.1 5 9.99 0.4 0.4 0 0.4 0 Dp-Curb 6 1 Sag 0.01 0.01 0.26 n/a n/a 0.26 26.06 Sag EX PI Z5.1 1 5 9.99 0.4 4 0 4 0 Dp-Curb 4.5 13 Sag 0.02 0.22 n/a n/a 0.22 10.94 Sag	YI Z10.15	0.1	5	9.99	0.4	0.4	0	0.4	0	Dp-Curb	6	1		****	****	Sag		0.01	0.01		0.26	n/a	n/a	0.26	26.06	Sag
EX PI Z5.1 1 5 9.99 0.4 4 0 4 0 Dp-Curb 4.5 13 Sag 0.02 0.02 0.22 n/a n/a 0.22 10.94 Sag	YI Z10.16	0.1	5	9.99	0.4	0.4	0	0.4	0	Dp-Curb	6	1				Sag		0.01	0.01		0.26	n/a	n/a	0.26	26.06	Sag
	YI Z10.17	0.1	5	9.99	0.4	0.4	0	0.4	0	Dp-Curb	6	1				Sag		0.01	0.01	,	0.26	n/a	n/a	0.26	26.06	Sag
OCS Z5.2 0 0 0 0 12.92 MH	EX PI Z5.1	1	5	9.99	0.4	4	0	4	0	Dp-Curb	4.5	13				Sag		0.02	0.02		0.22	n/a	n/a	0.22	10.94	Sag
	OCS Z5.2	0	0	0	0	12.92				MH																



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REVISIONS:

05/20/2022 CONCEPT REVISION 1

06/23/2022 FULTON COUNTY SUB

08/05/2022 FULTON HEALTH DEPT

09/23/2022 CONCEPT REVISION 2

10/07/2022 CONCEPT REVISION 3

1"= 50' 03/14/2022 T. RAPP WESLEY REED

SCALE:
DATE:

PROJECT NO.

22-010

SHEET NO.

C6.2

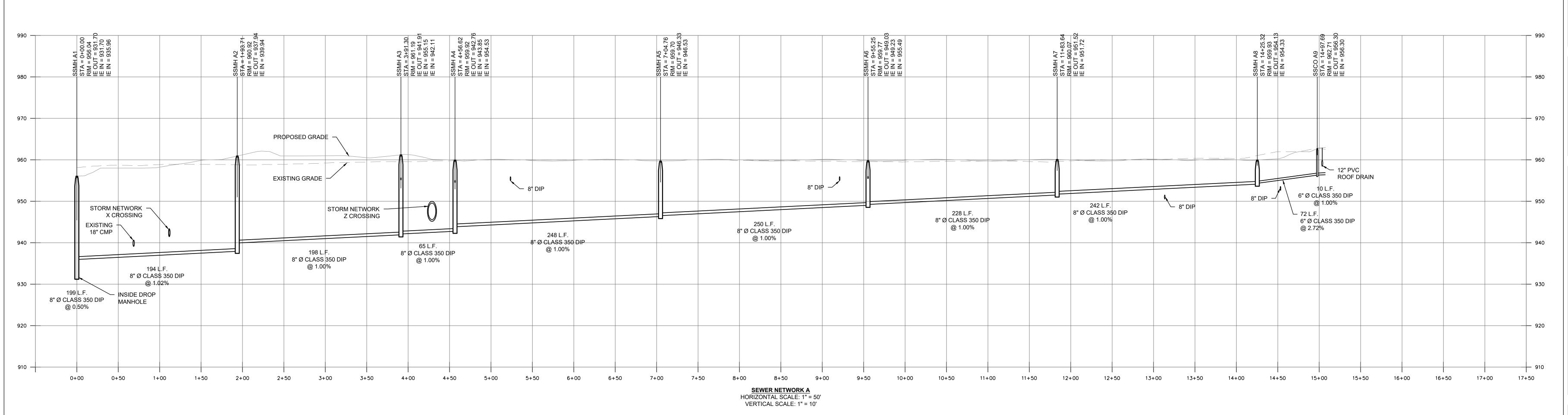
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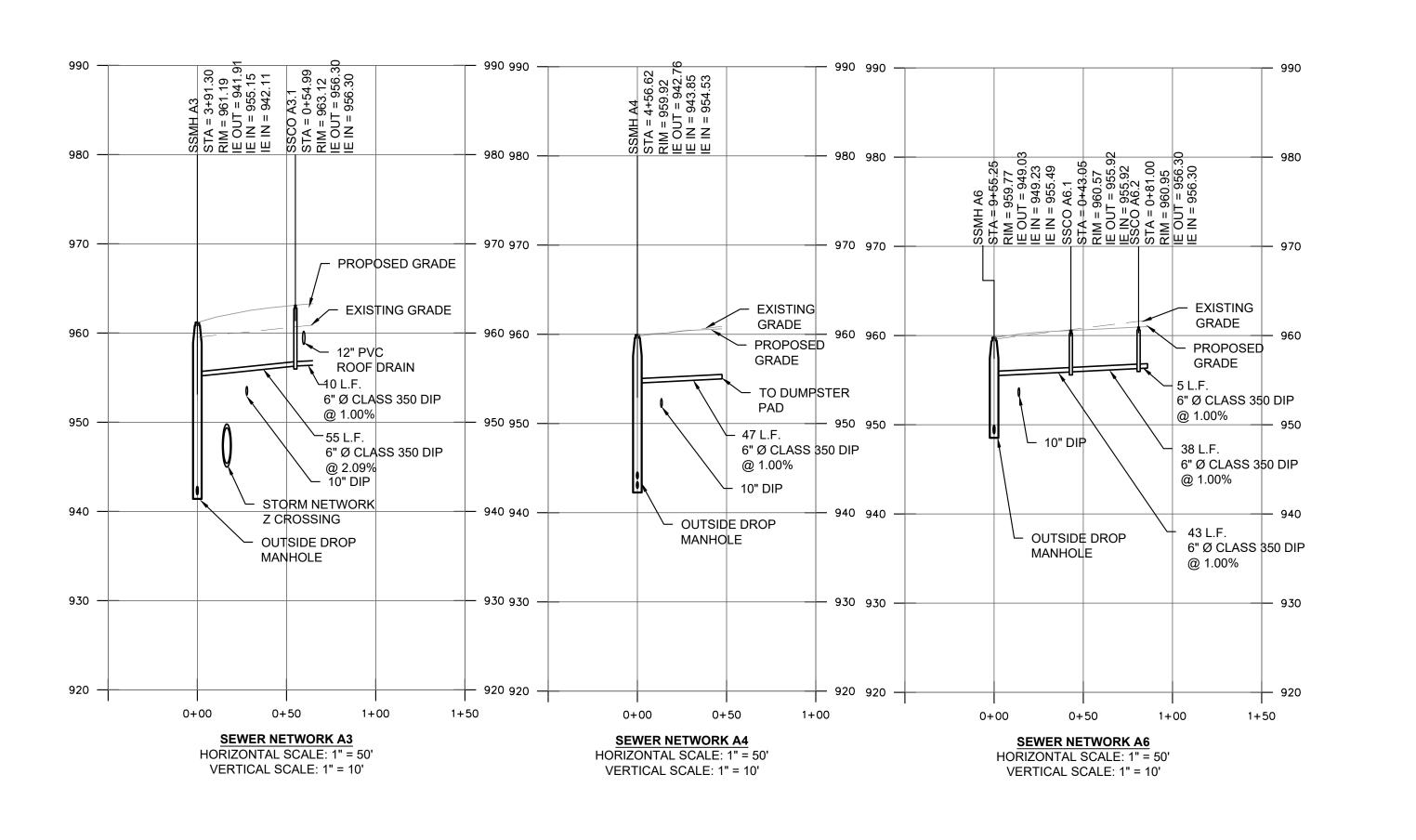
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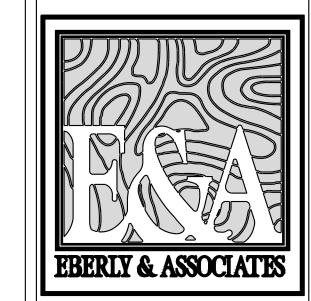




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LAND LOT 33 & 34 9F DISTRICT 7760 SPENCE ROAD, FAIRBU FULTON COUNTY, GEORG

REVISIONS:

REVISIONS:

05/20/2022 CONCEPT REVISION 1

06/23/2022 FULTON COUNTY SUB

08/05/2022 FULTON HEALTH DEPT

09/23/2022 CONCEPT REVISION 2

10/07/2022 CONCEPT REVISION 3

PROFILE PLAN

1"= 50'
03/14/2022

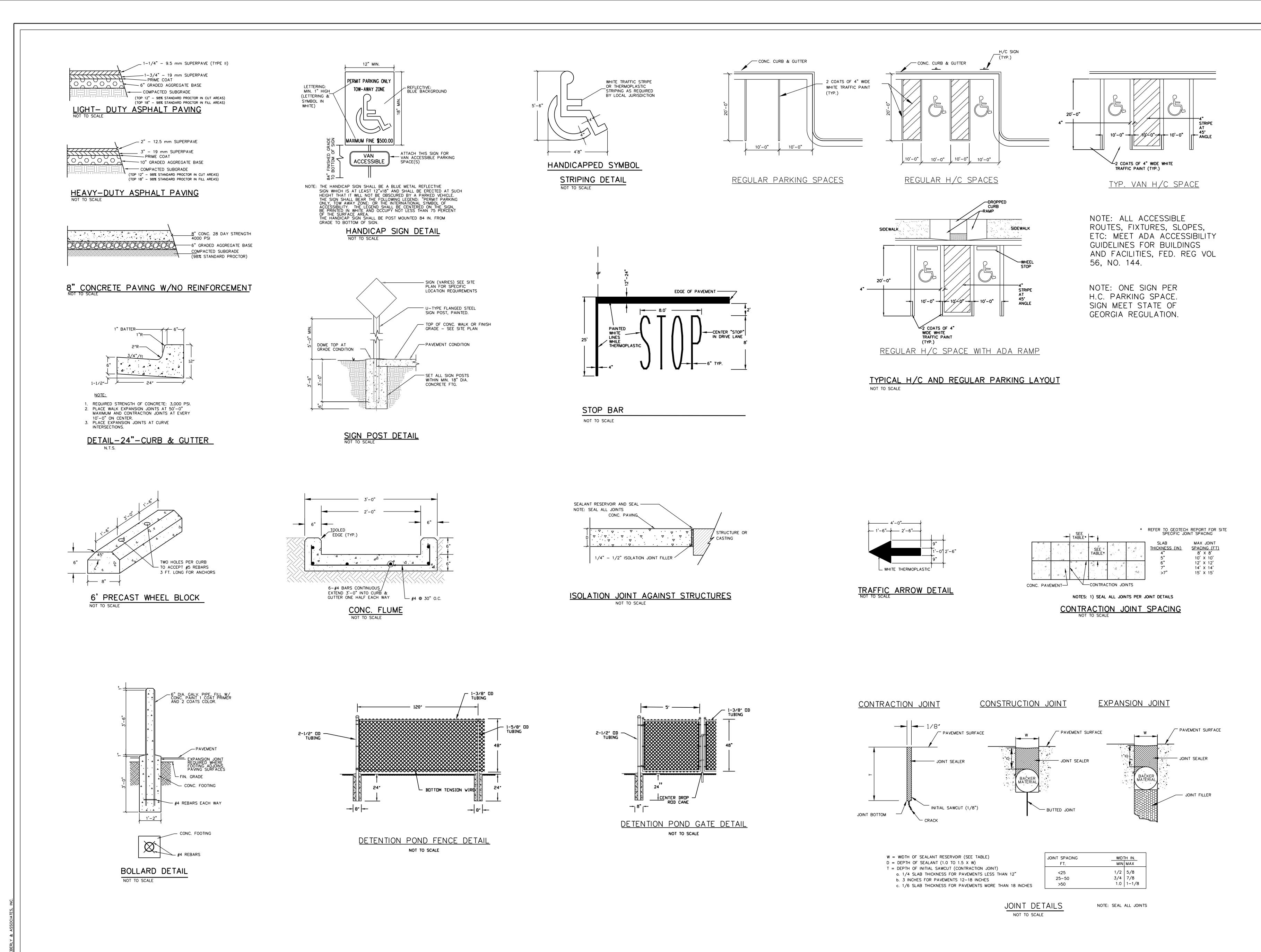
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GER:
WESLEY REED

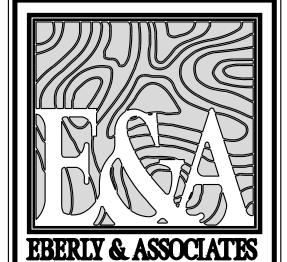
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SHEET NO.

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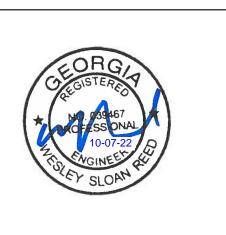


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REVISIONS:

05/20/2022 CONCEPT REVISION 1

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08/05/2022 FULTON HEALTH DEPT

09/23/2022 CONCEPT REVISION 2

10/07/2022 CONCEPT REVISION 3

03/14/2022 T. RAPP WESLEY REED

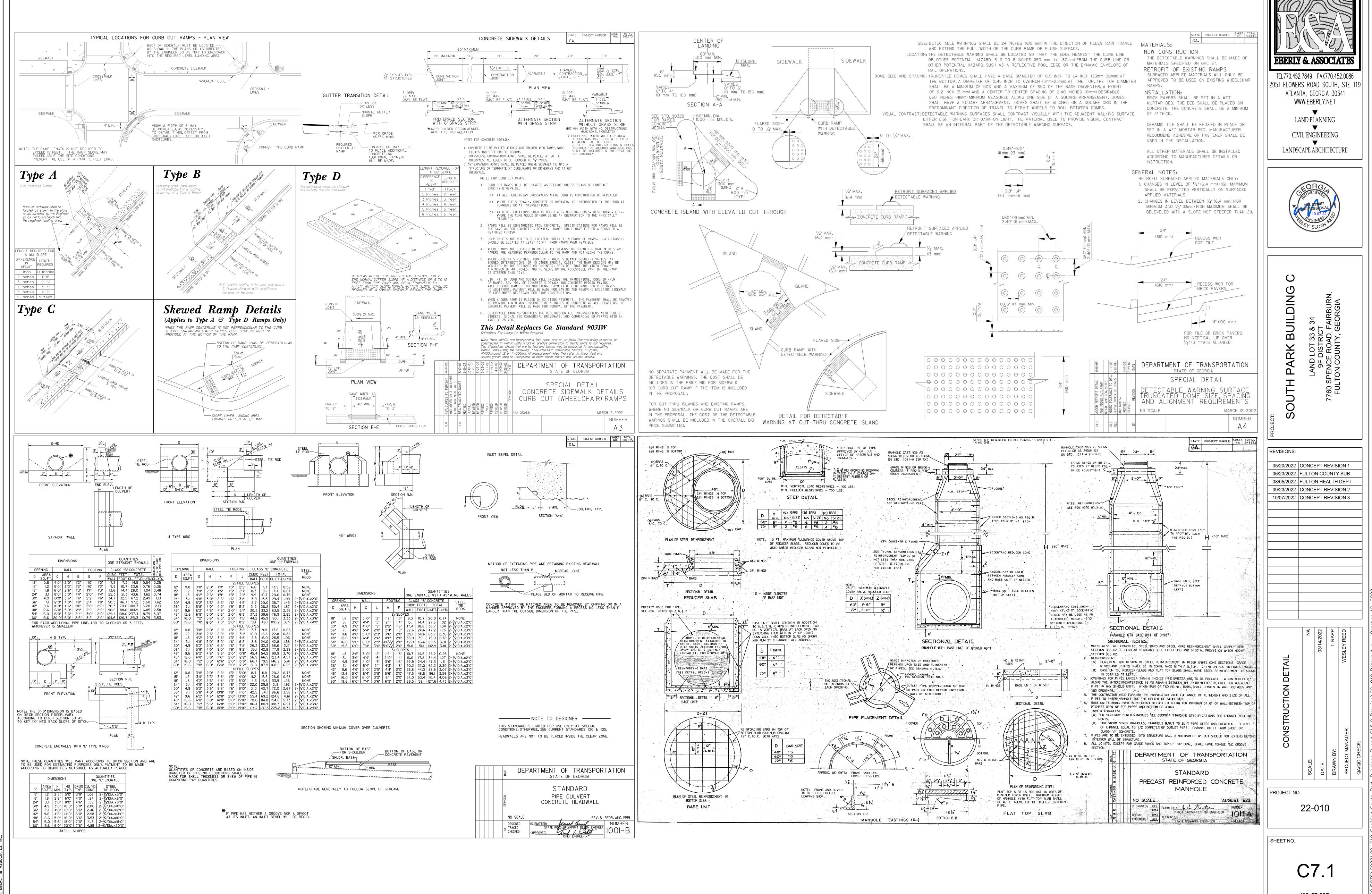
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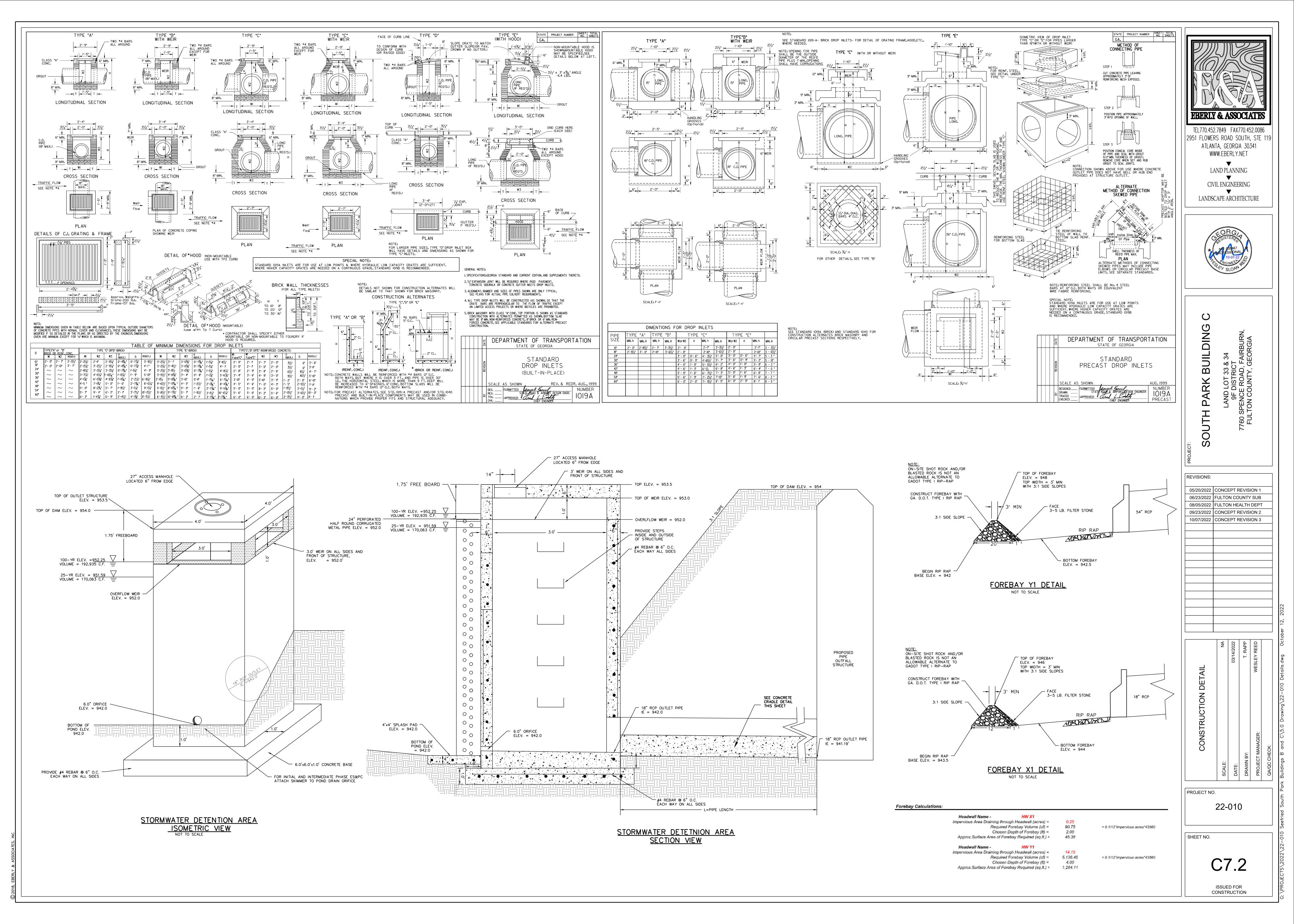
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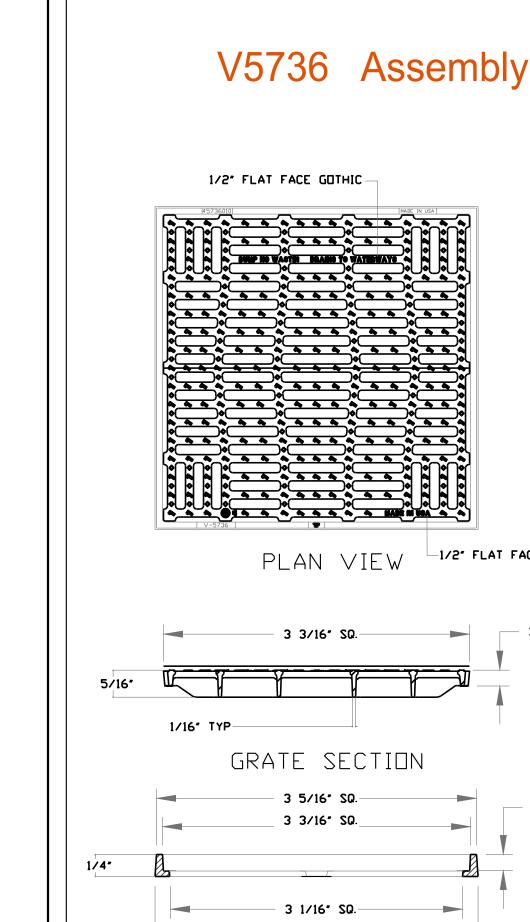
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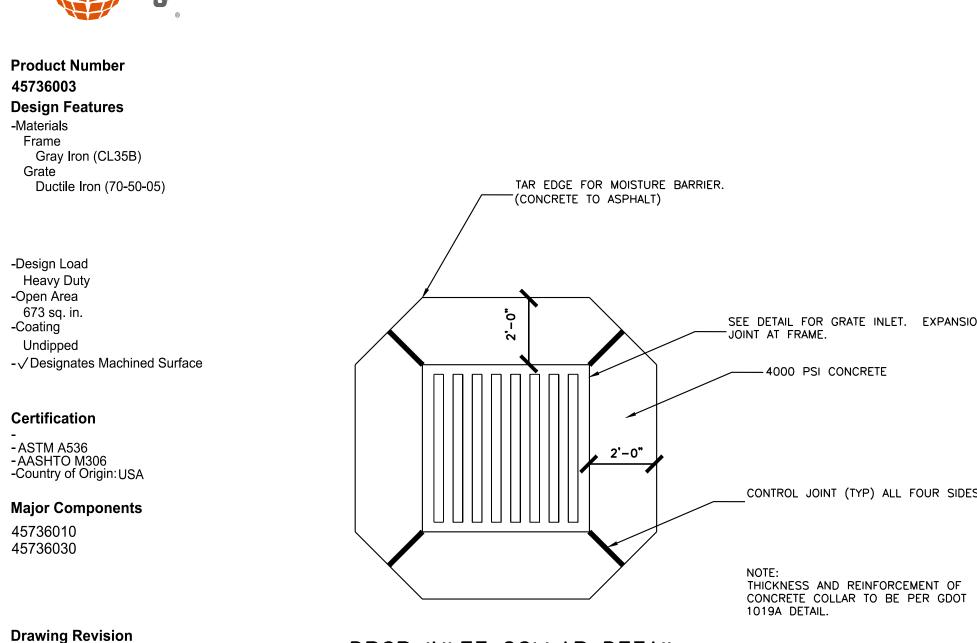
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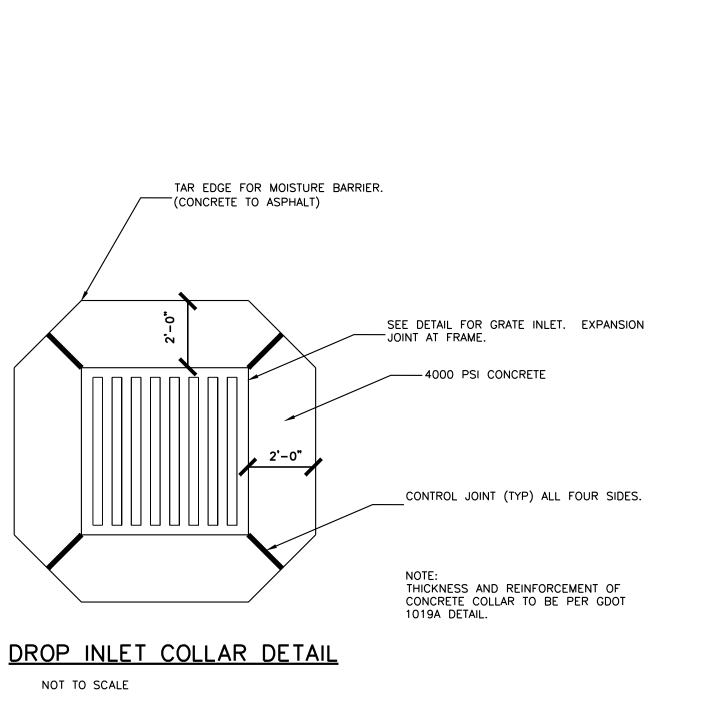




FRAME SECTION



NOT TO SCALE





PER UNIT

80292 INDIVIDUAL PARTS

80017 INDIVIDUAL PARTS

OPTIONAL BASES

80620 INDIVIDUAL PARTS

80292

80018

31001

42023

51237 16560

62806 47520 44143

51242 42022

61523

15285

15277

61248 15016 33083

DESCRIPTION

.250" Brass Balls

Locking Assembly

Locking Device

Handle shaft

Lock Washer

Handle Knob

Handle Shaft

3" NPT Female

2.5" 150# Flange (FF

3" 150# Flange (FF 3" 150# Flange (RF

3" 300# Flange (FF 4" 150# Flange (FF

4" 150# Flange (RF

4" 300# Flange (RF)

4" 300# Flange (FF) 6" 150# Flange (FF)

2.5" R/L Swivel

Lock Knob Support Rod Handwheel Eye Bolt (.500"-13)

.187" Diam. Brass Ball 2.5" Rubber Gasket

Hex Nut (.500"-13)

Hydrant Elbow Sub-Assembly, 2.5" NHT

Large Wye 90° Elbow

Small Wye

Cap Screw

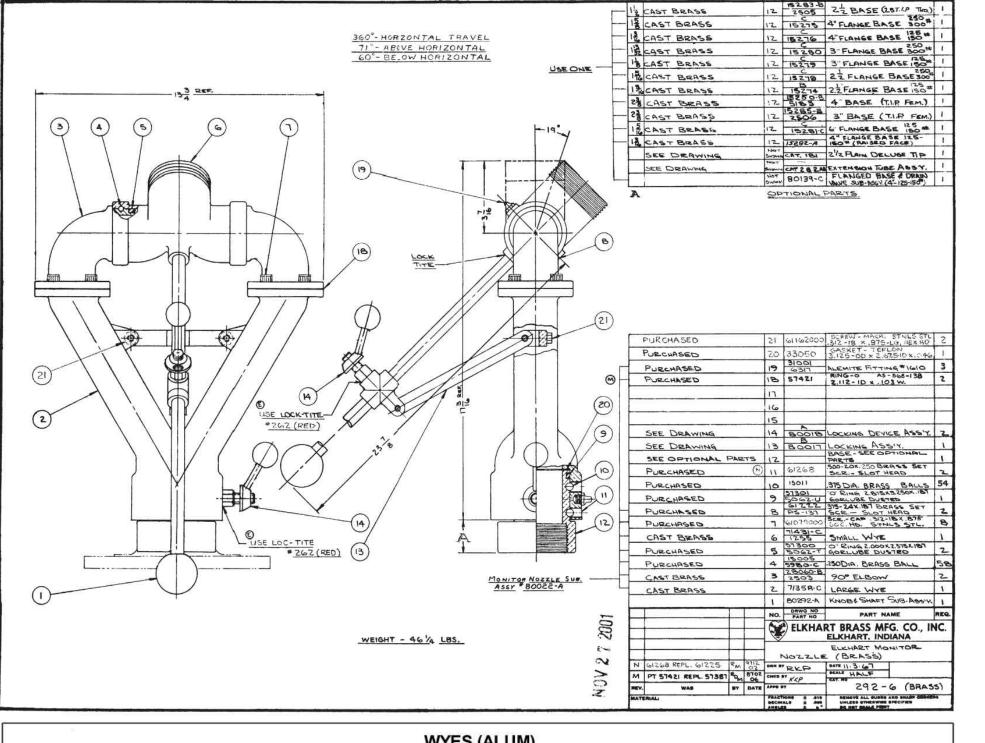
Cap Screw

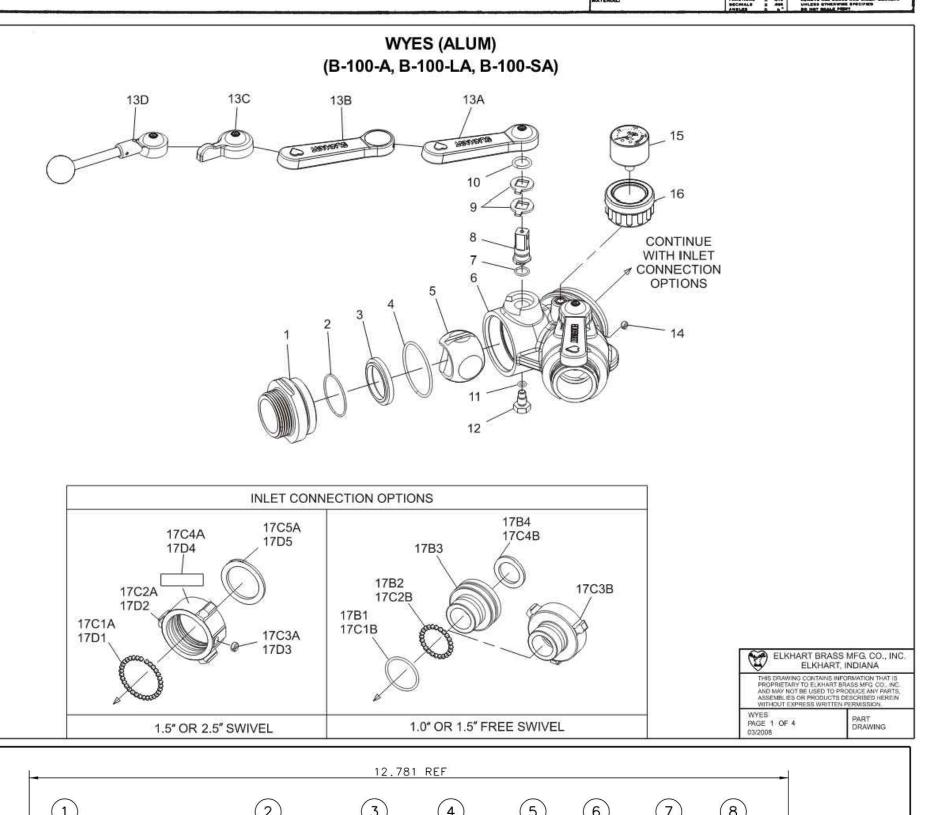
"O" Ring

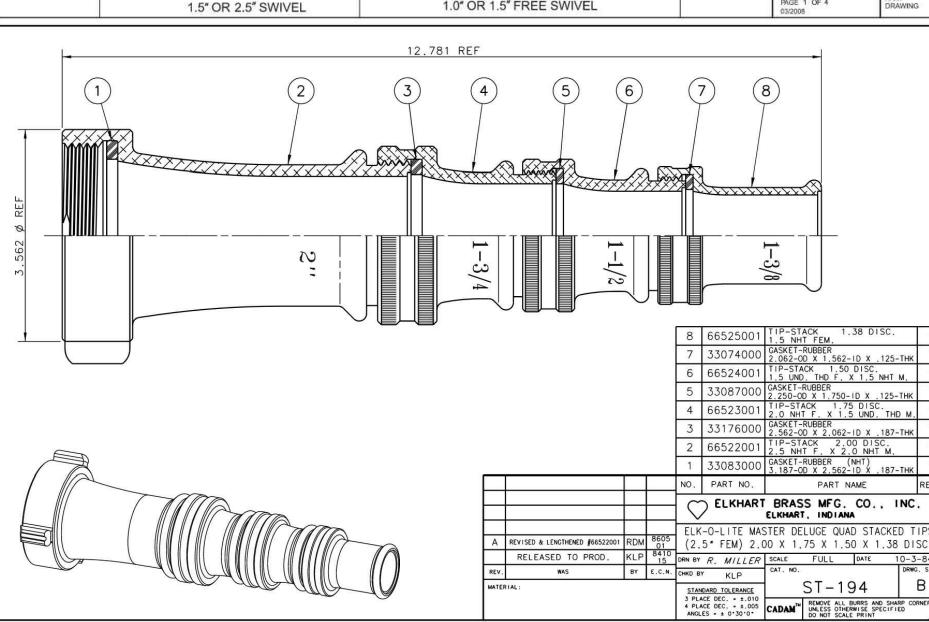
Knob and Shaft Sub-Assembly

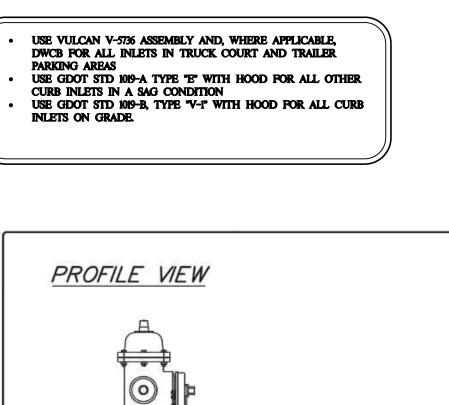
292-6 & 292-6H

September, 2002









11/05/2002 Designer: TCL 8/7/2015 Revised By: KK

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Weights (lbs./kg) dimensions (inches/mm) and drawings provided for your guidance. We reserve the right to modify specifications without

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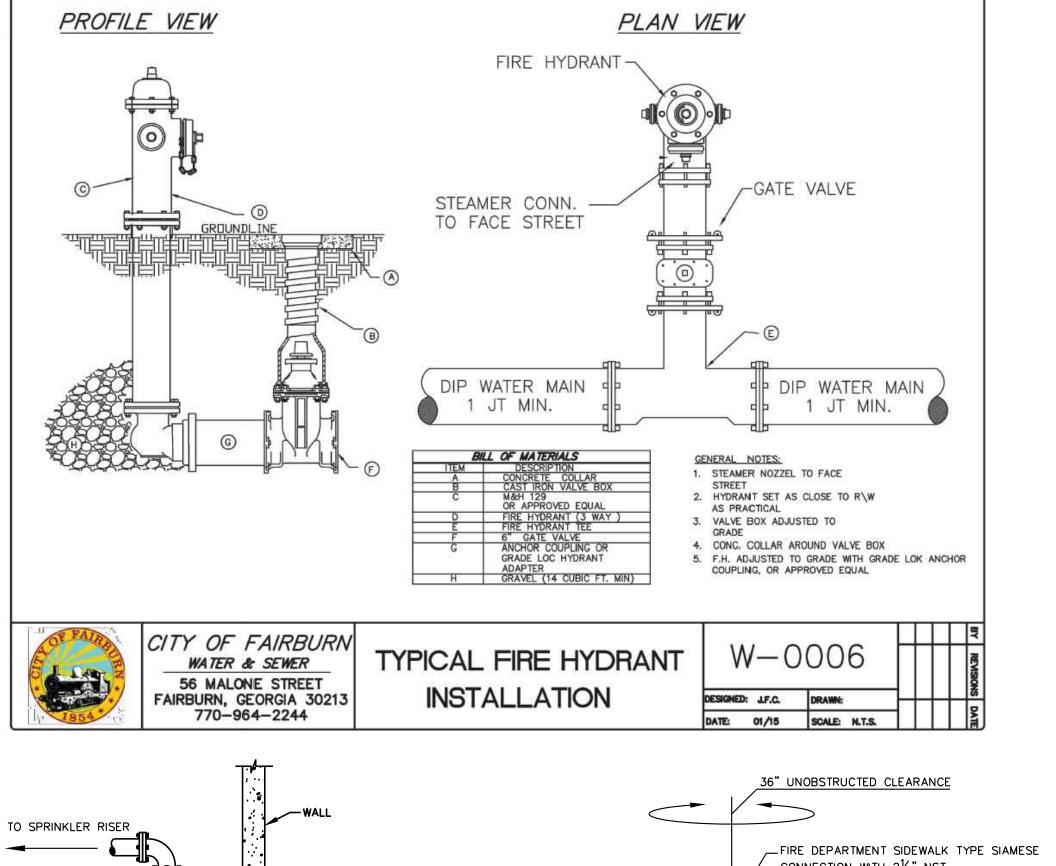
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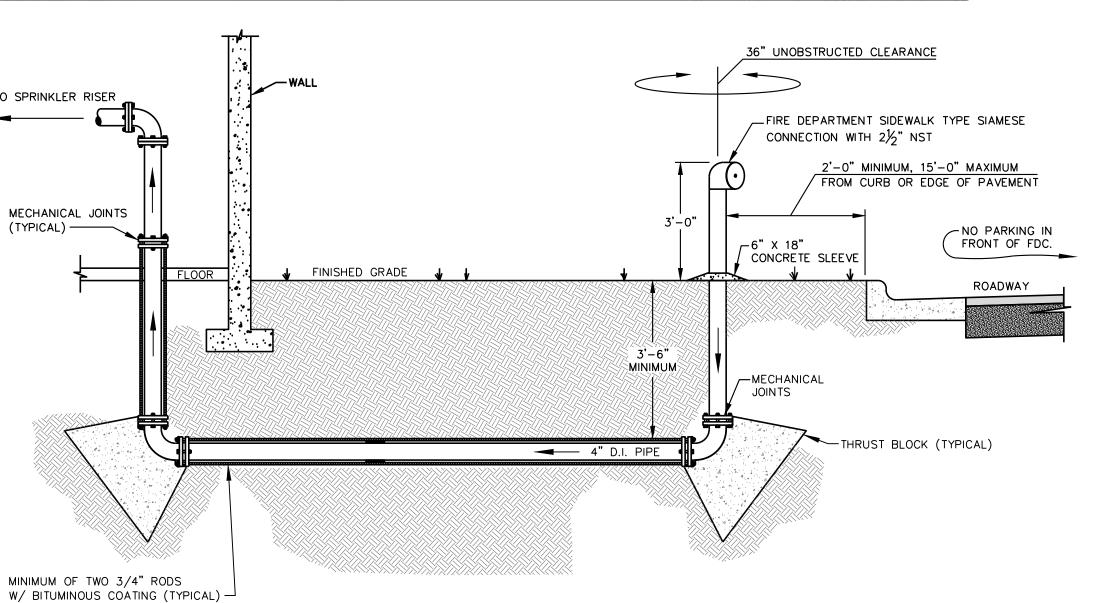
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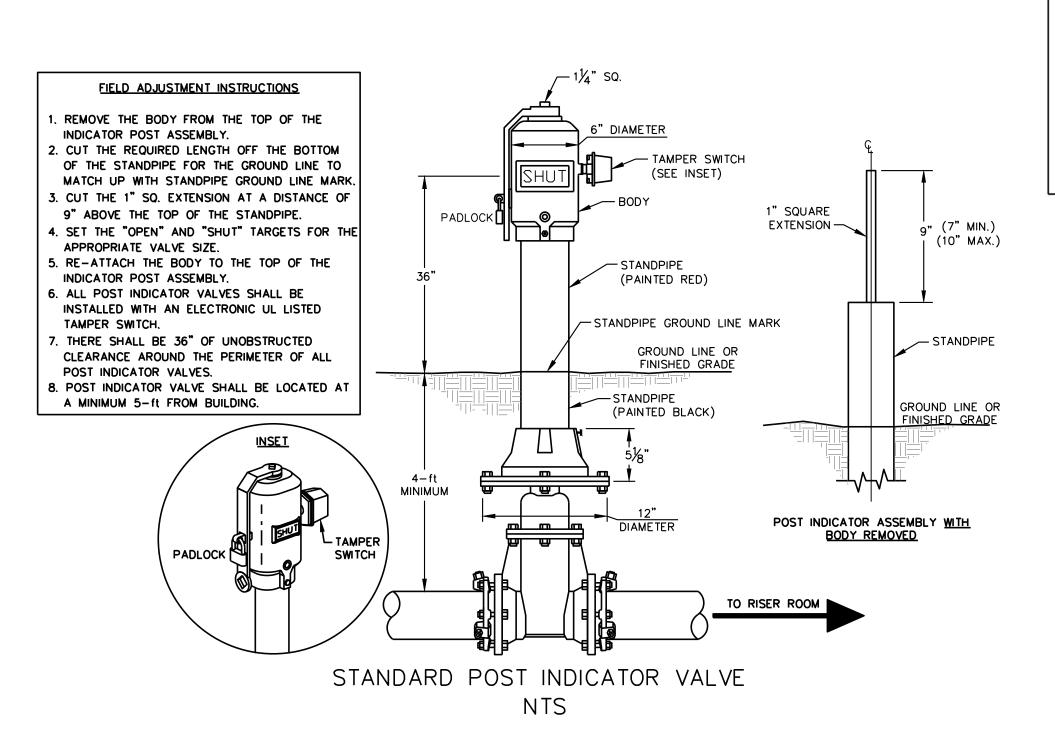
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1/2" FLAT FACE GOTHIC





CURB SIDE FIRE DEPARTMENT CONNECTION (FDC)

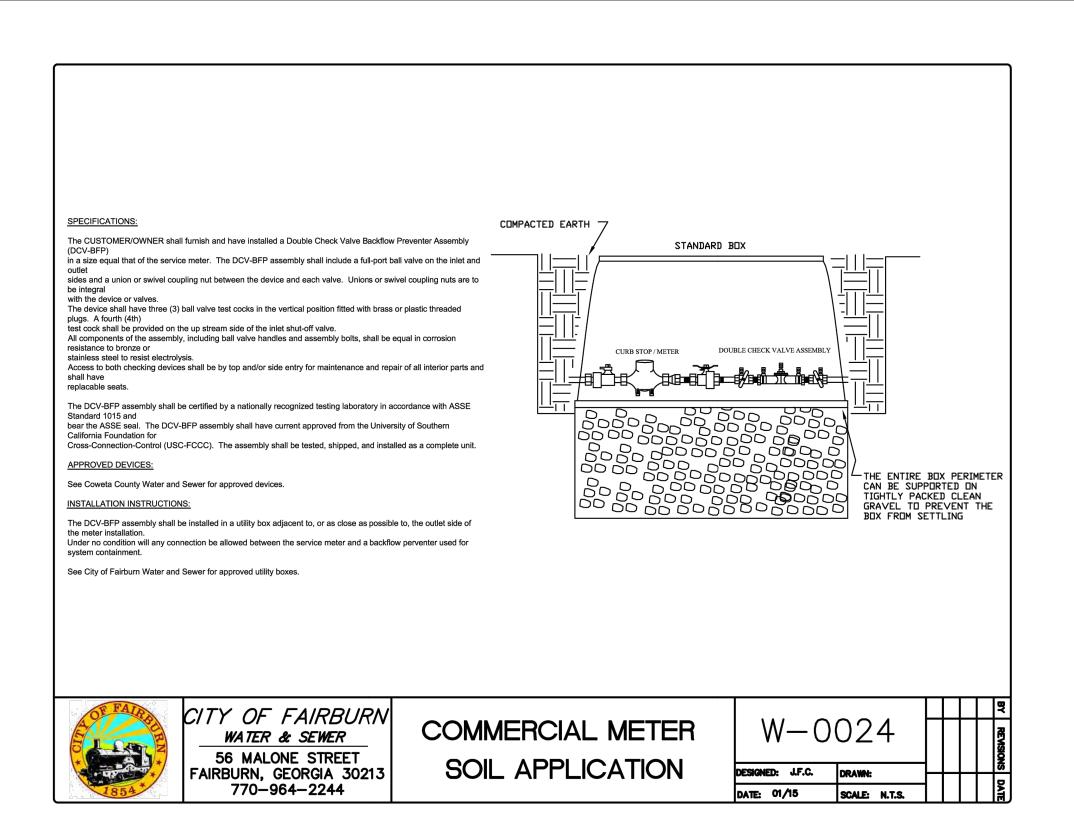


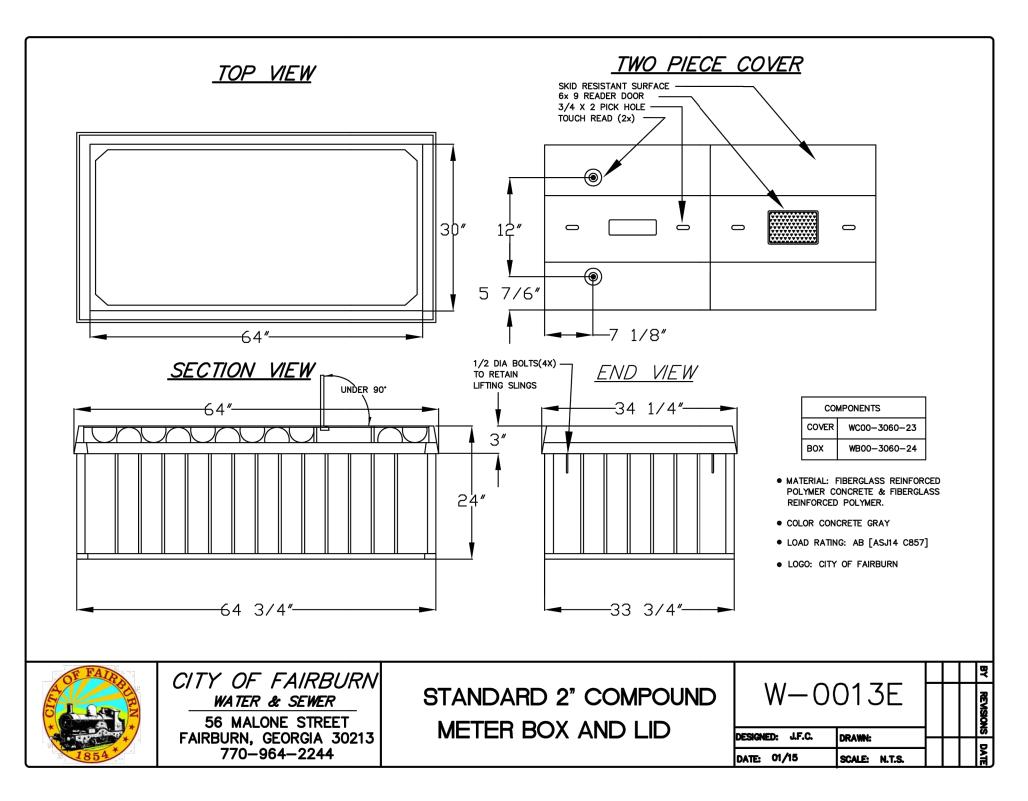
EBERLY & ASSOCIATES TEL770.452.7849 FAX770.452.0086 2951 FLOWERS ROAD SOUTH, STE 119 ATLANTA, GEORGIA 30341 WWW.EBERLY.NET LAND PLANNING CIVIL ENGINEERING LANDSCAPE ARCHITECTURE DING BUIL REVISIONS: 05/20/2022 | CONCEPT REVISION 1 06/23/2022 FULTON COUNTY SUB 08/05/2022 | FULTON HEALTH DEPT 09/23/2022 | CONCEPT REVISION 2 10/07/2022 | CONCEPT REVISION 3

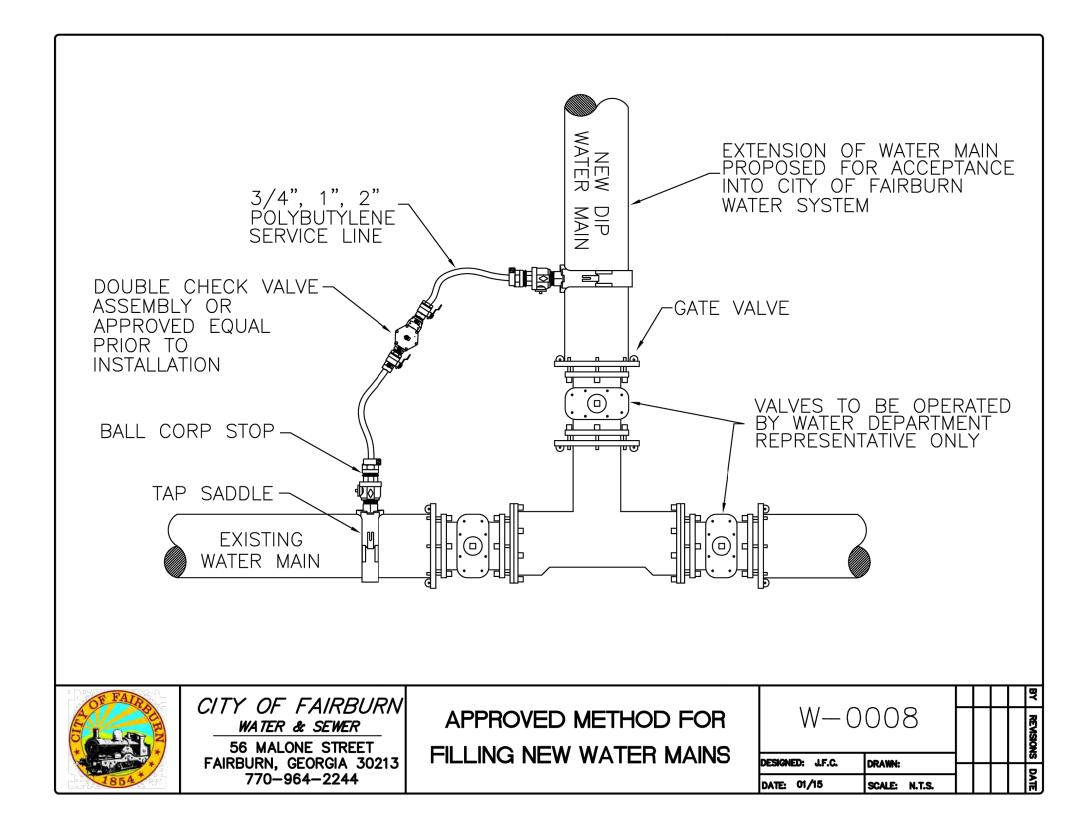
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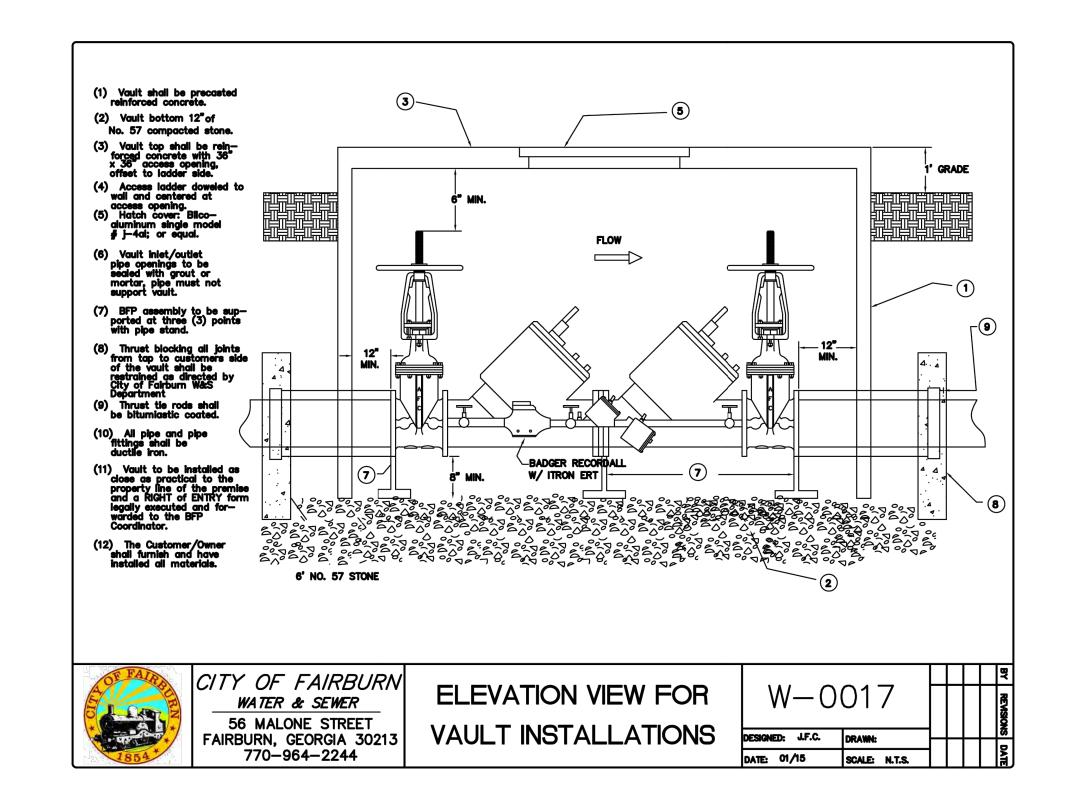
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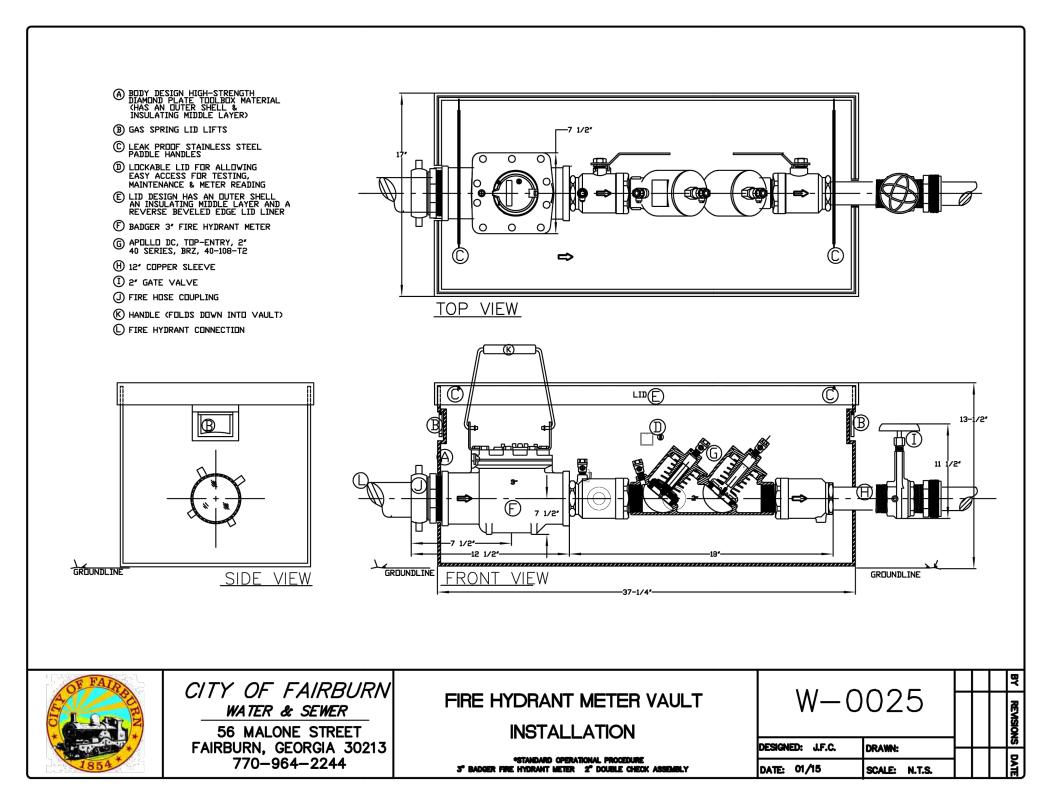
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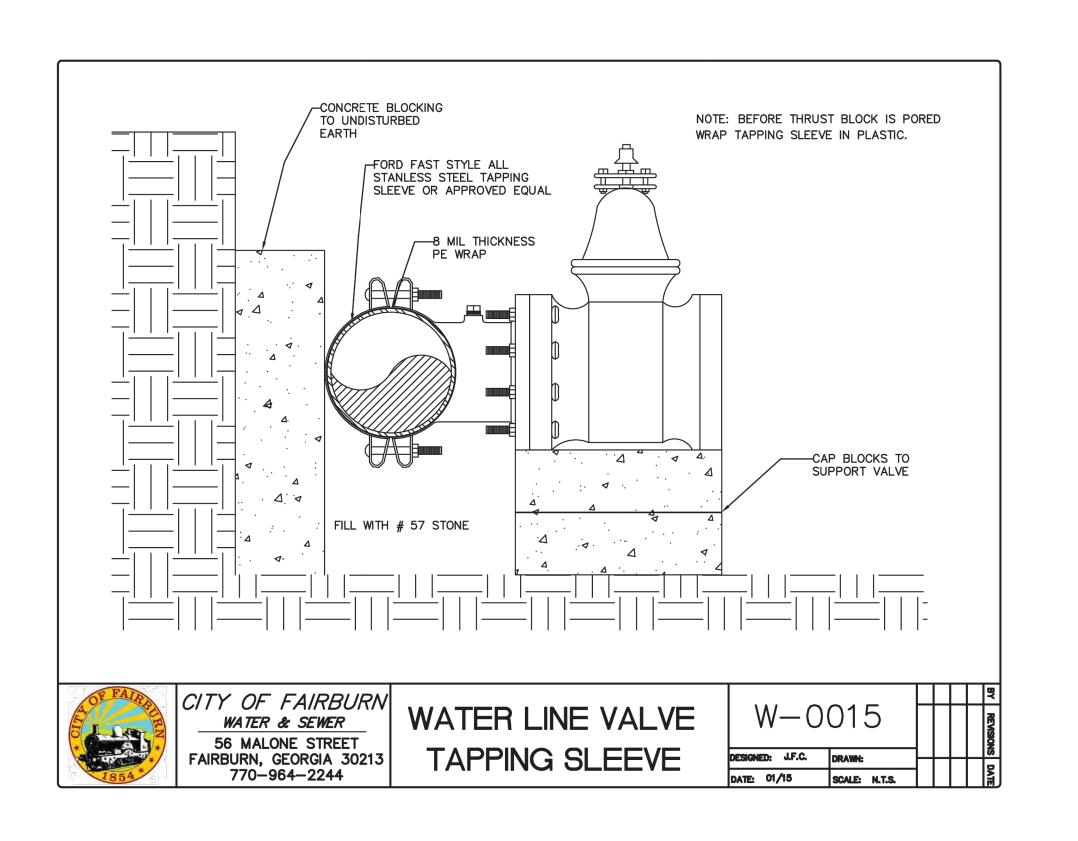


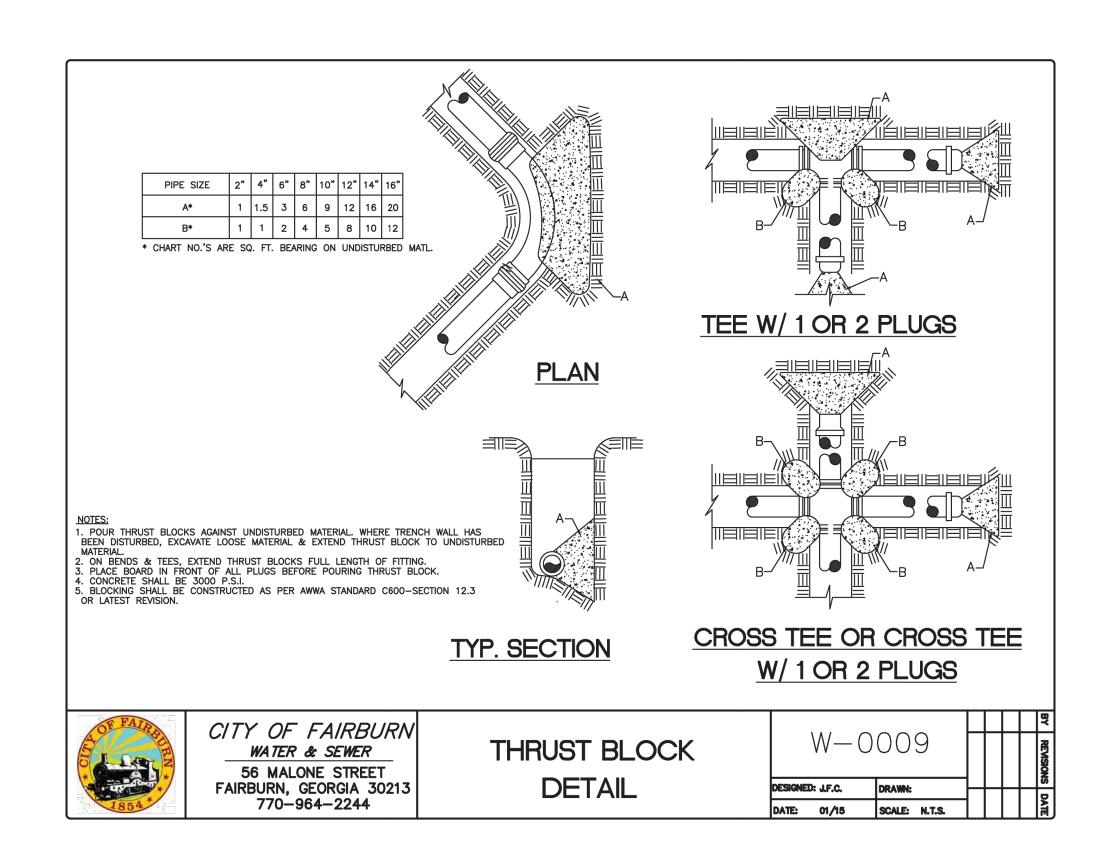


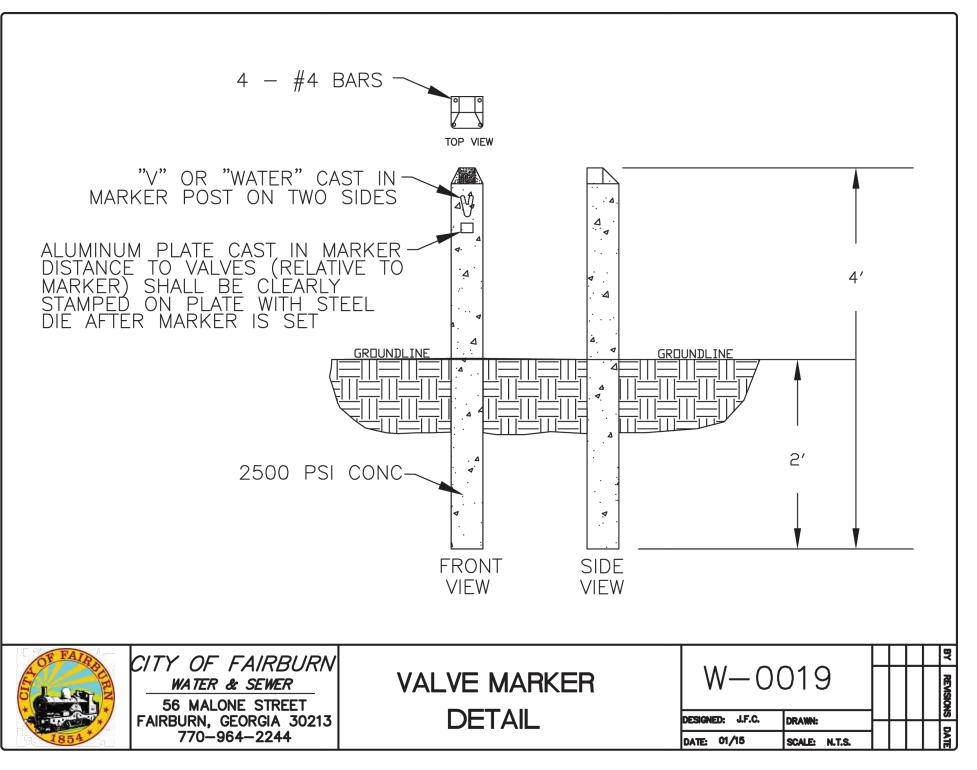


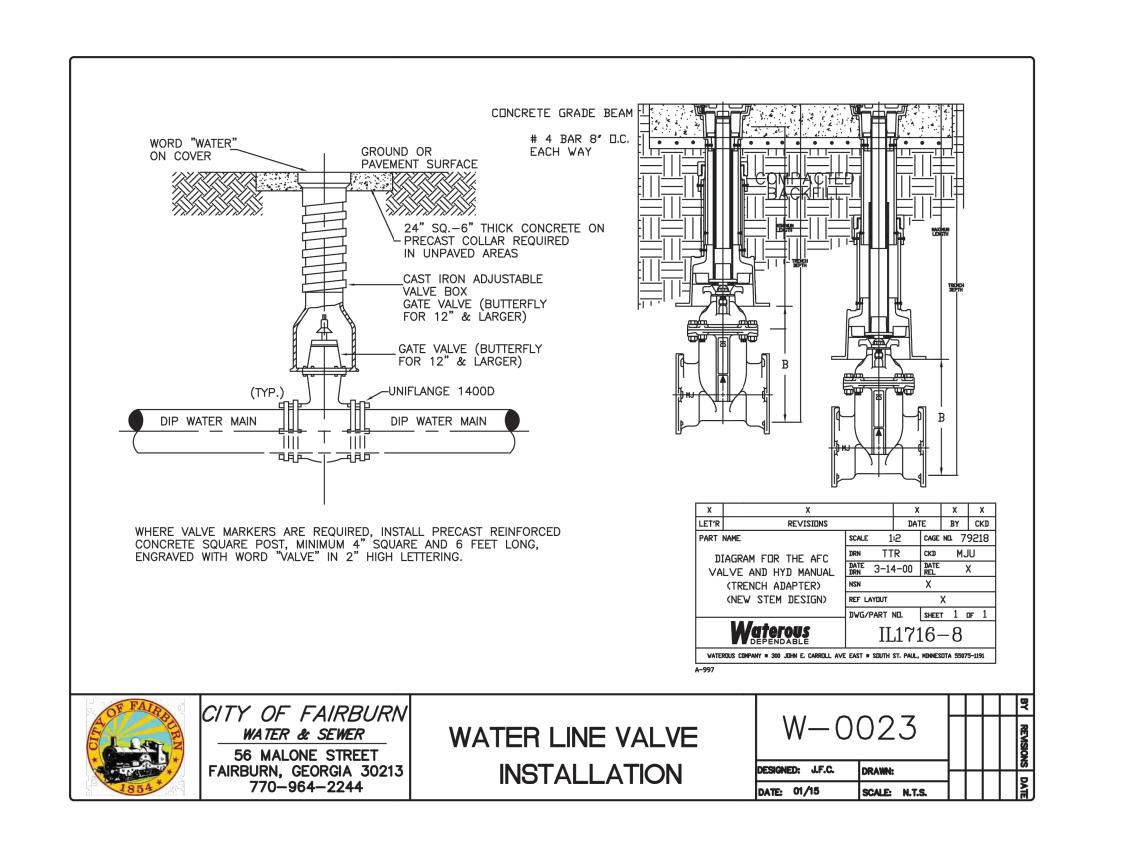


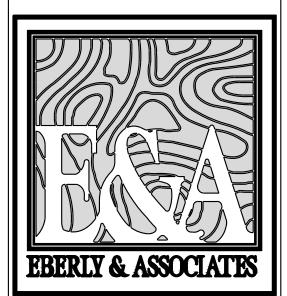












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JTH PARK BUILDING C
LAND LOT 33 & 34
9F DISTRICT
760 SPENCE ROAD, FAIRBURN,
FULTON COUNTY, GEORGIA

REVISIONS:

05/20/2022 CONCEPT REVISION 1
06/23/2022 FULTON COUNTY SUB
08/05/2022 FULTON HEALTH DEPT
09/23/2022 CONCEPT REVISION 2
10/07/2022 CONCEPT REVISION 3

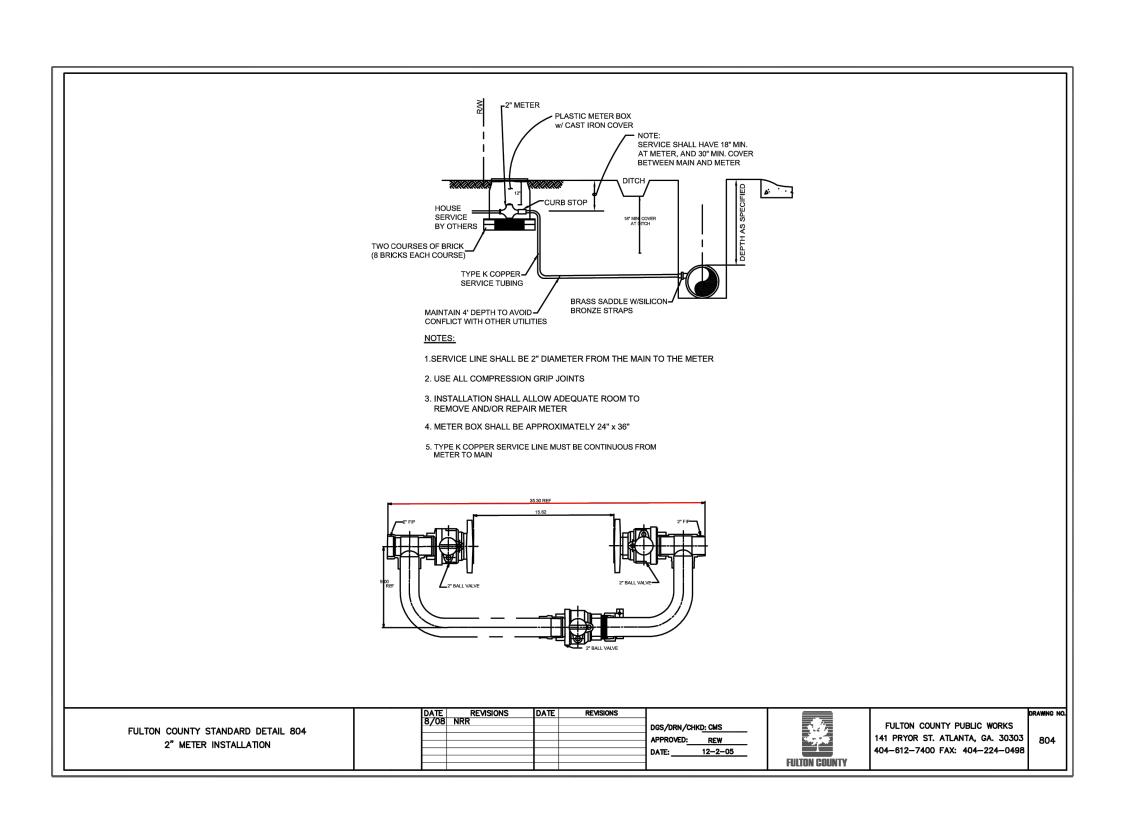
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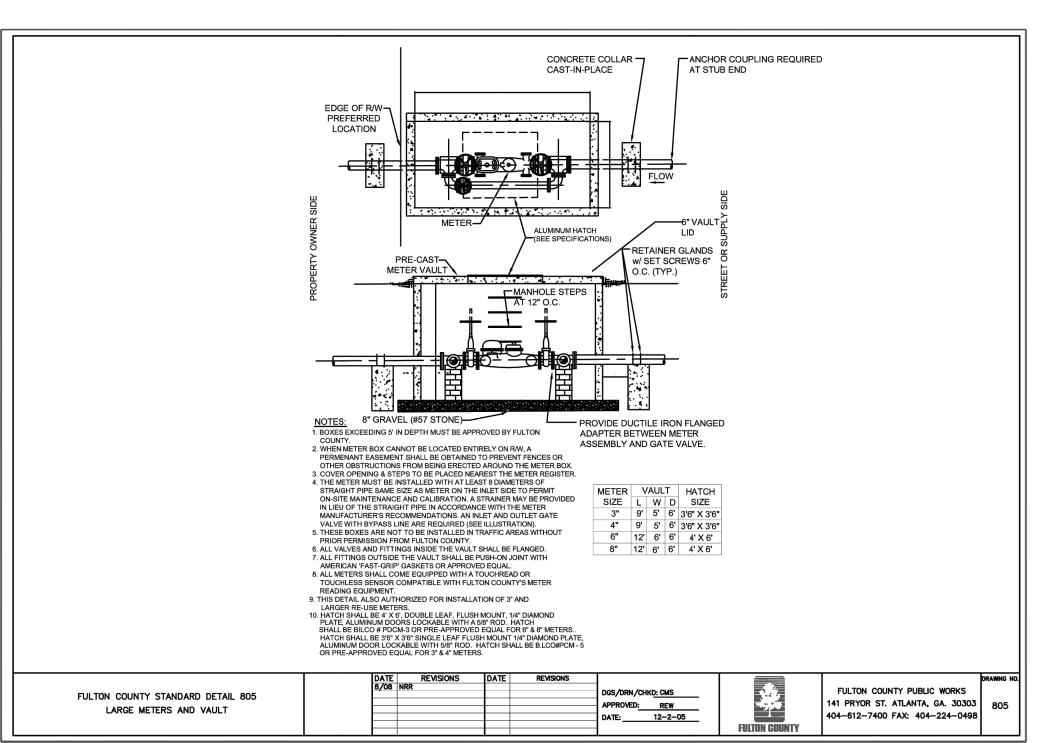
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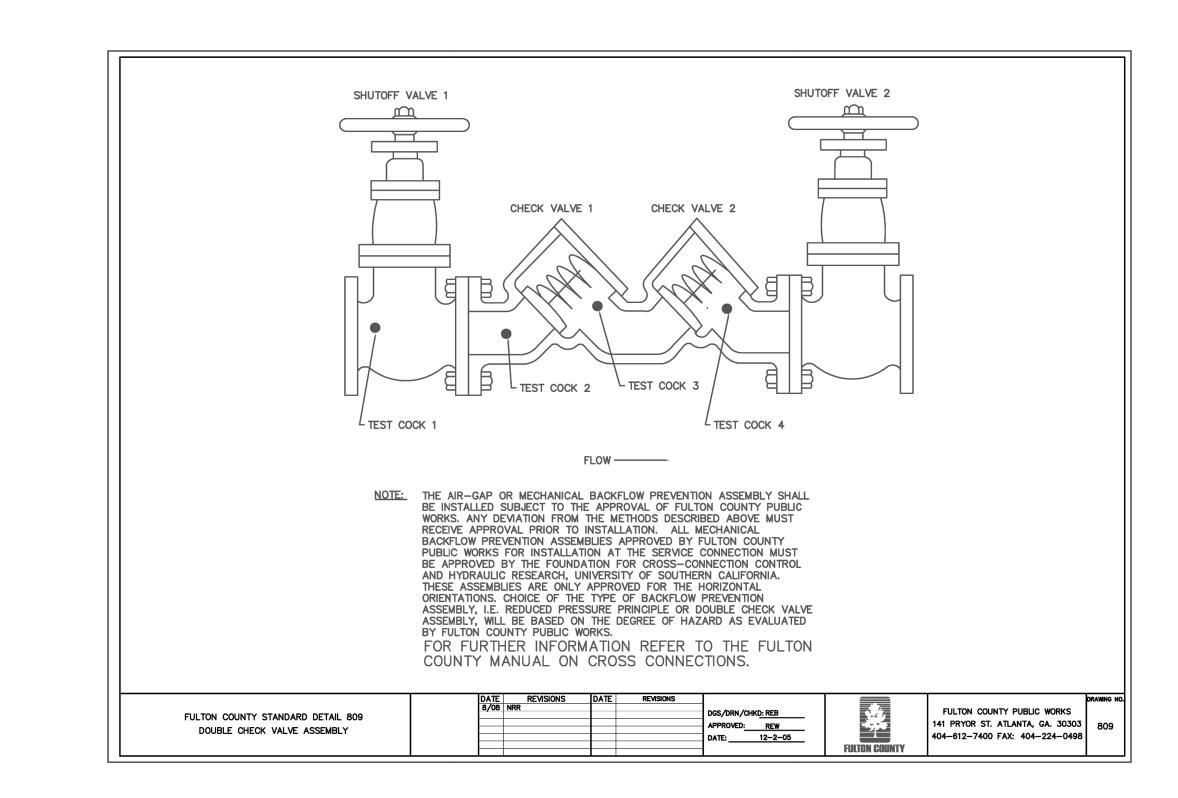
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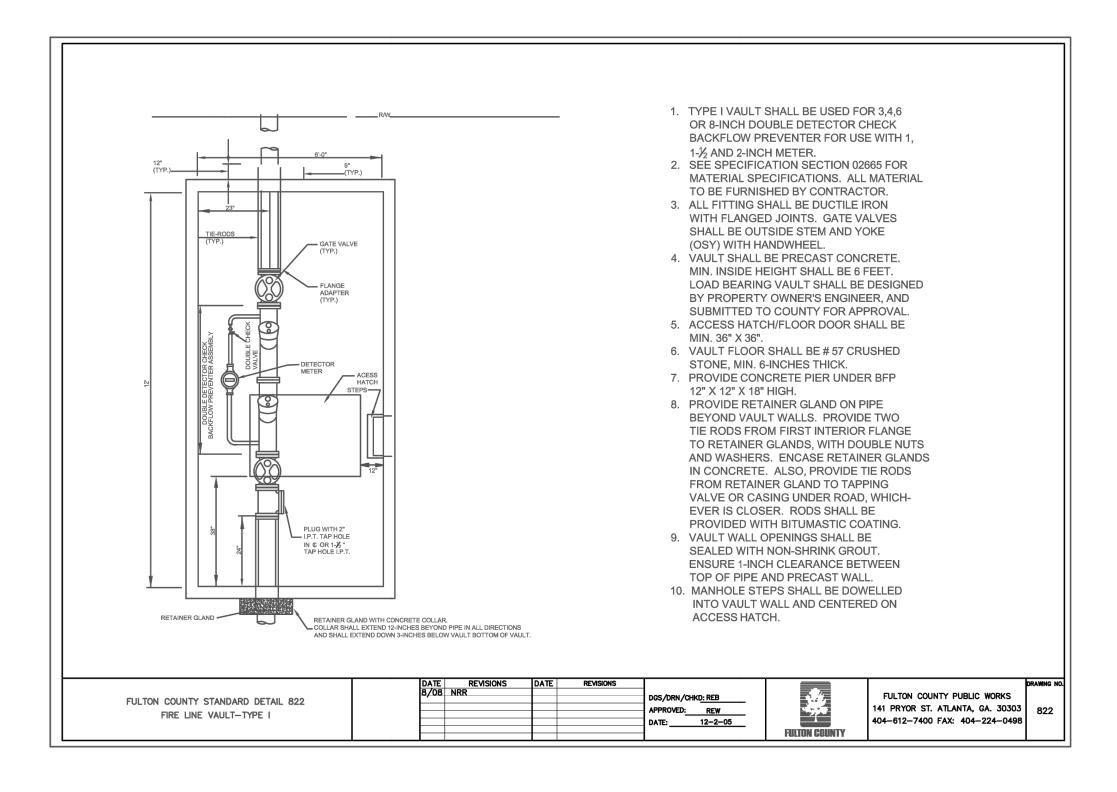
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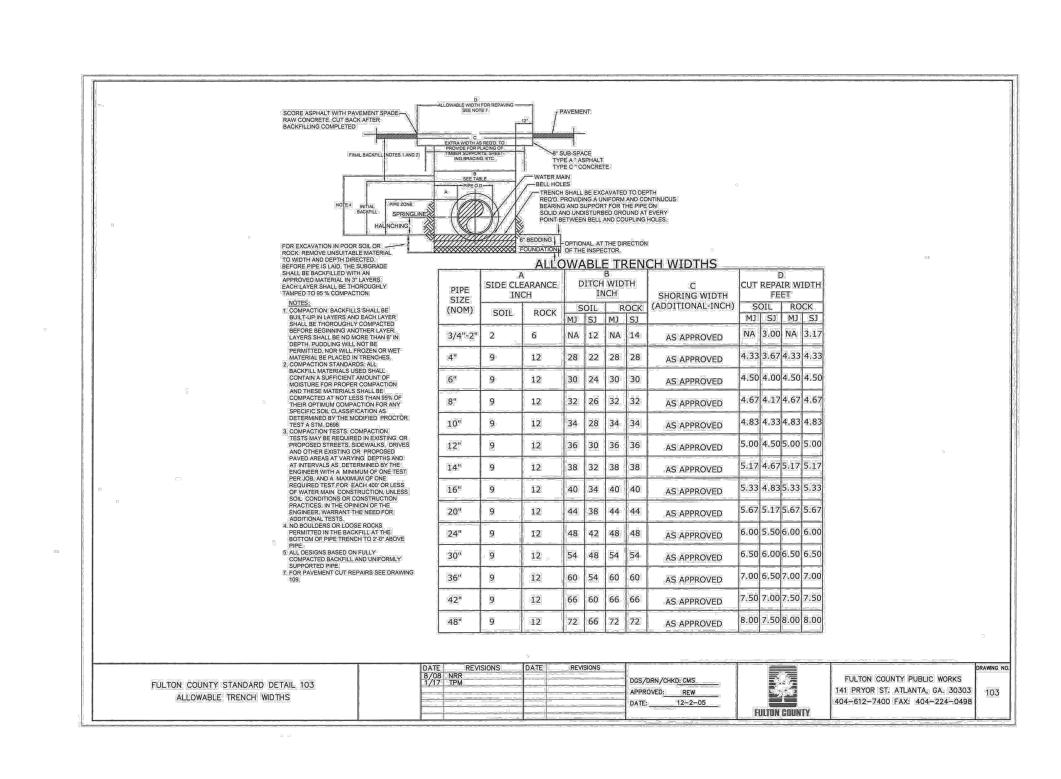
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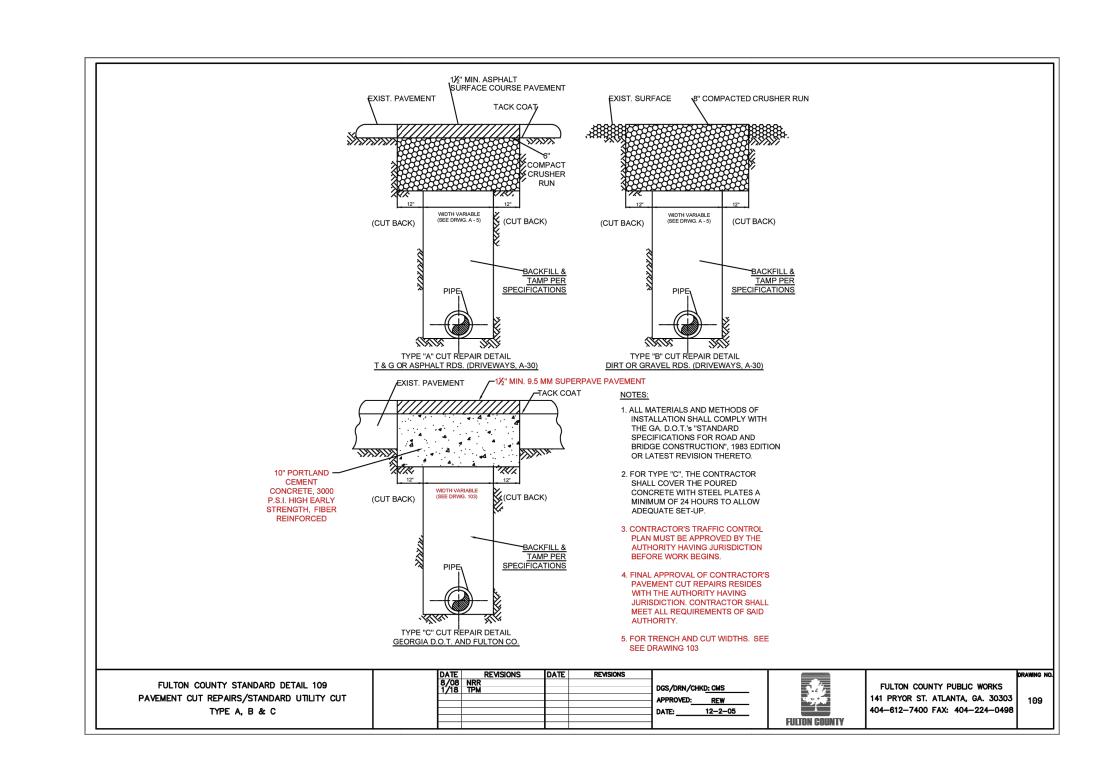


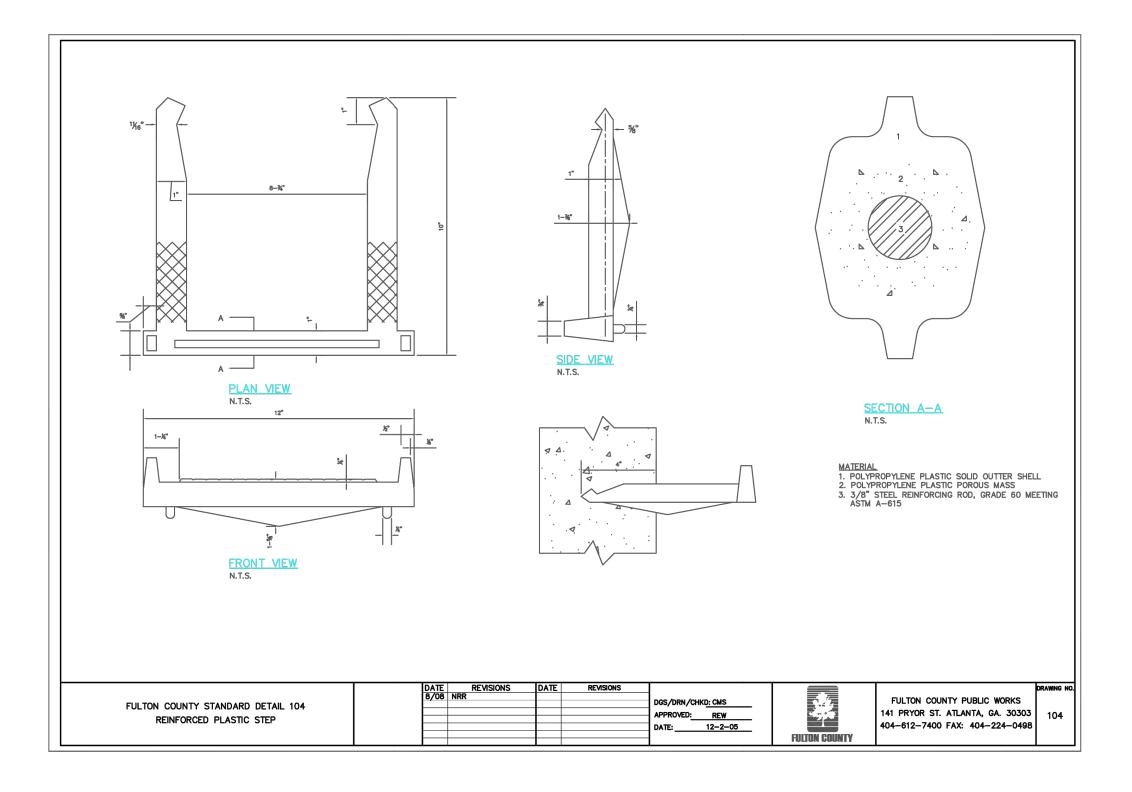


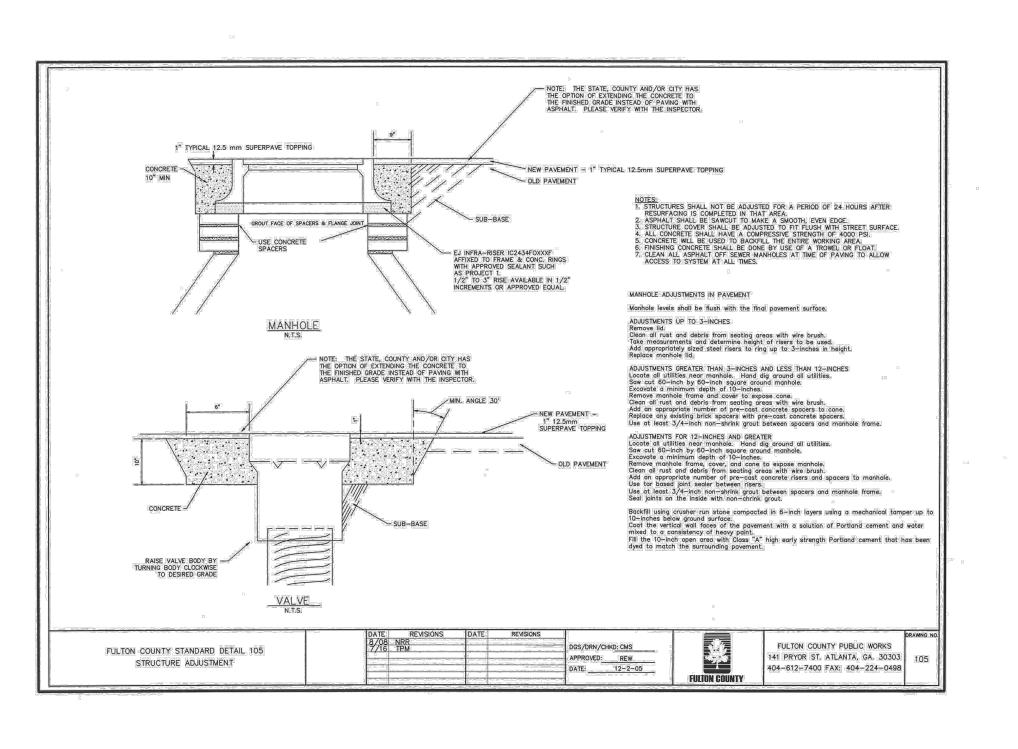


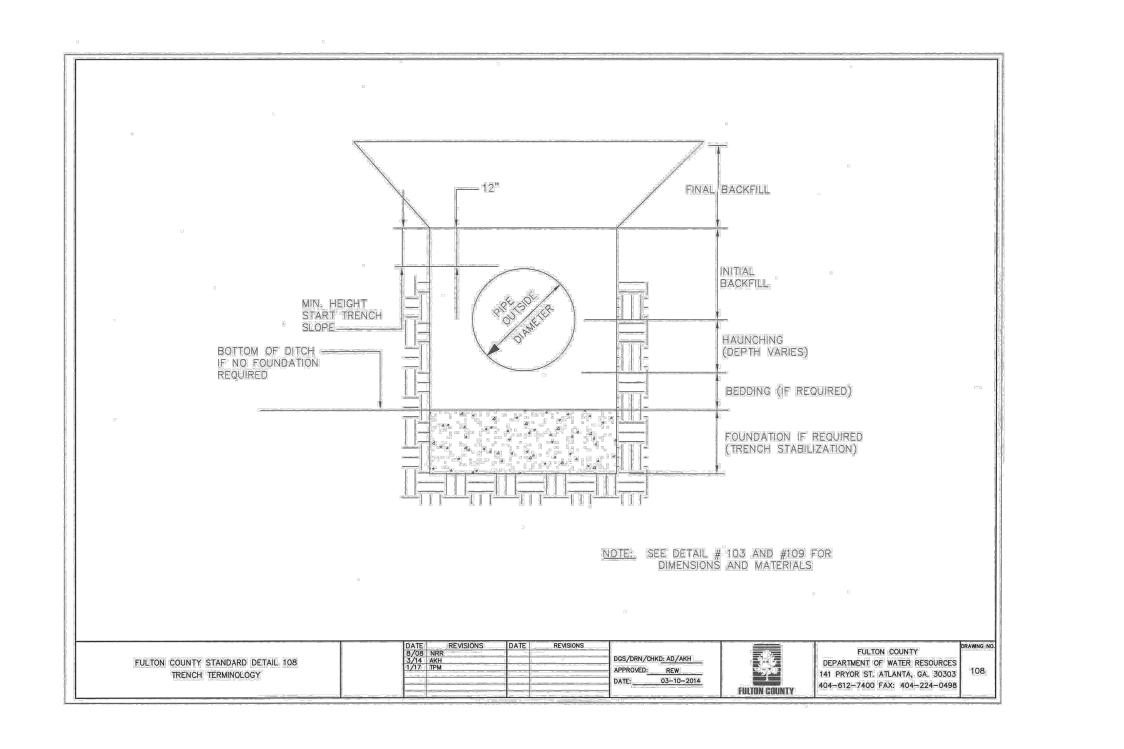


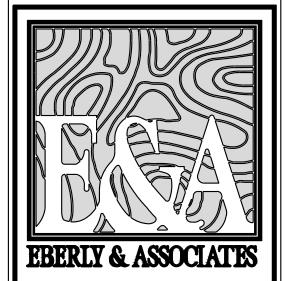












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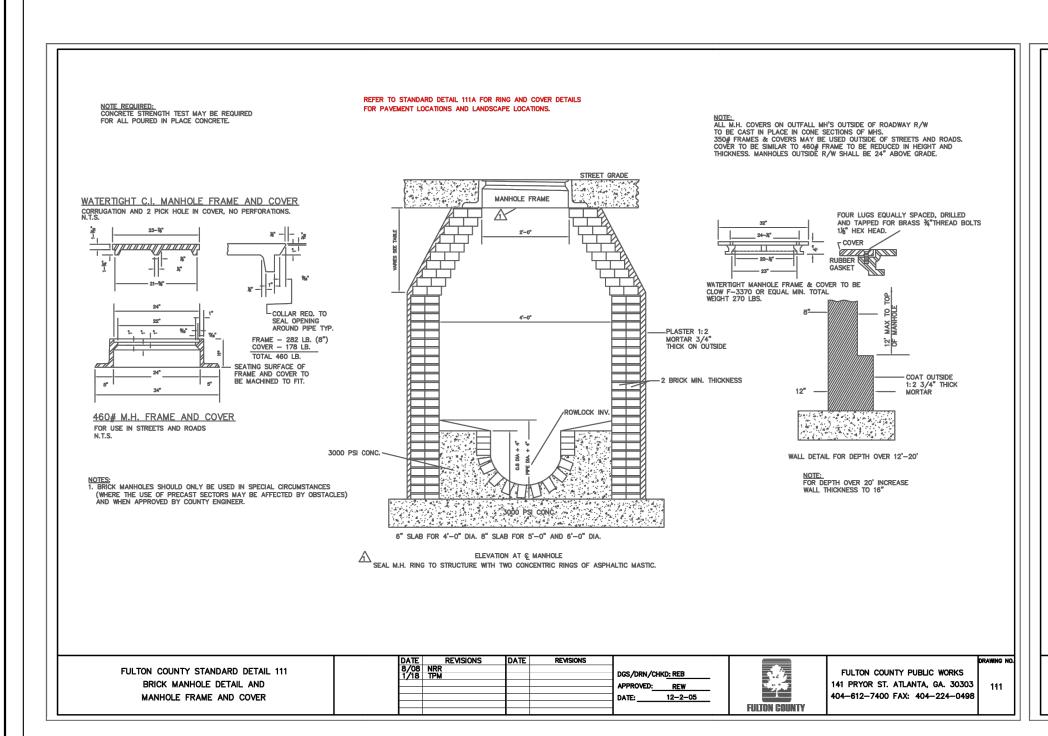
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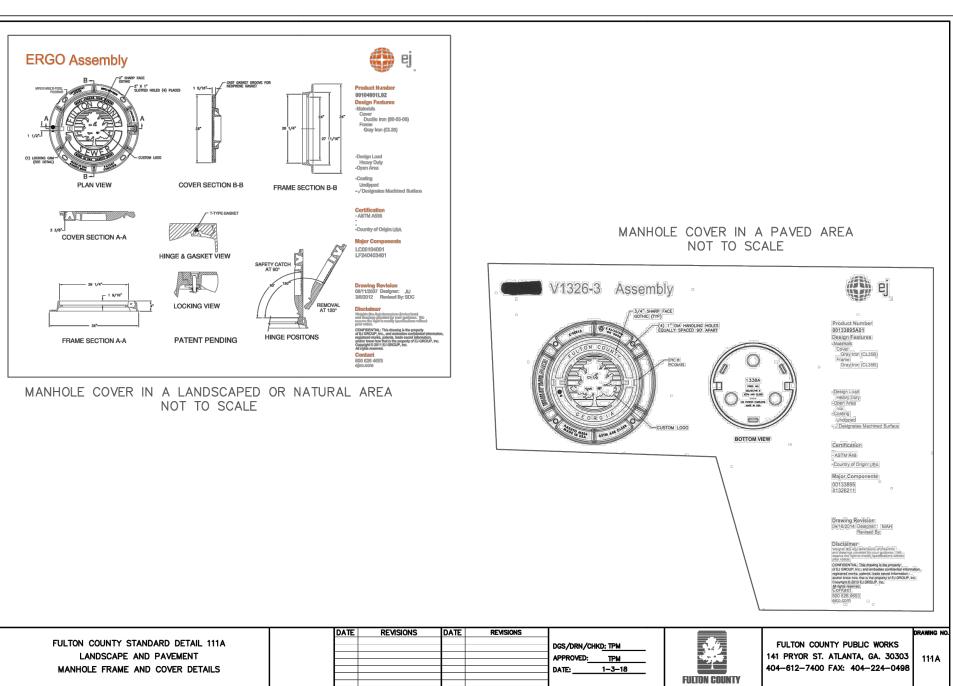
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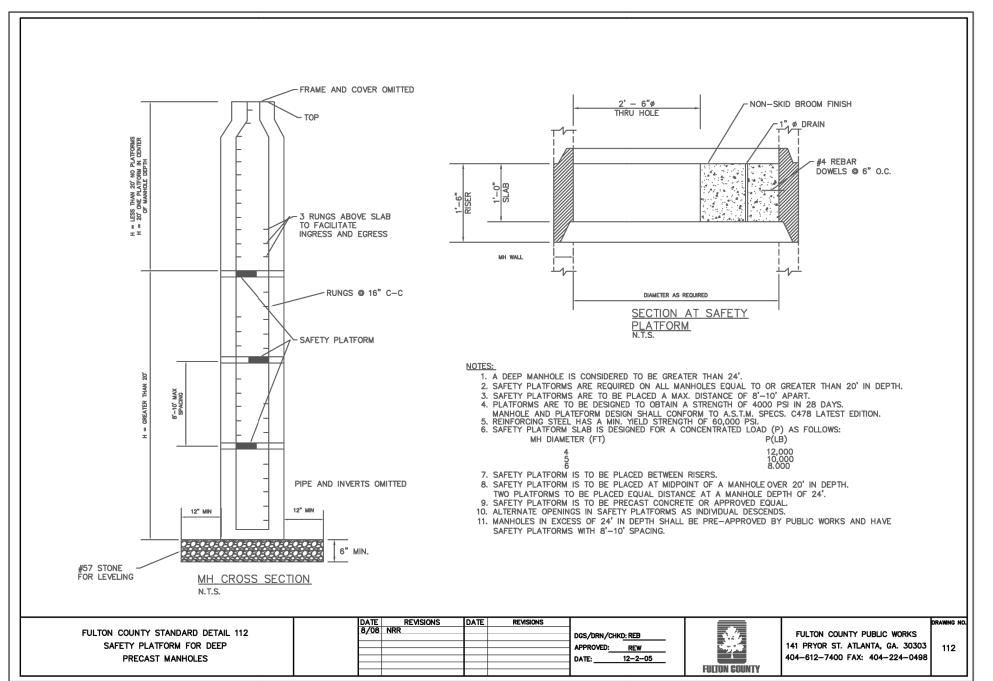
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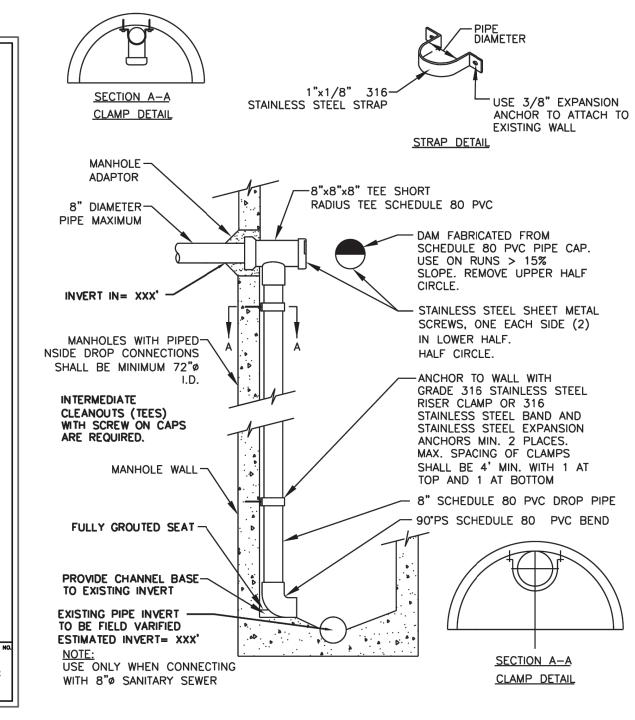
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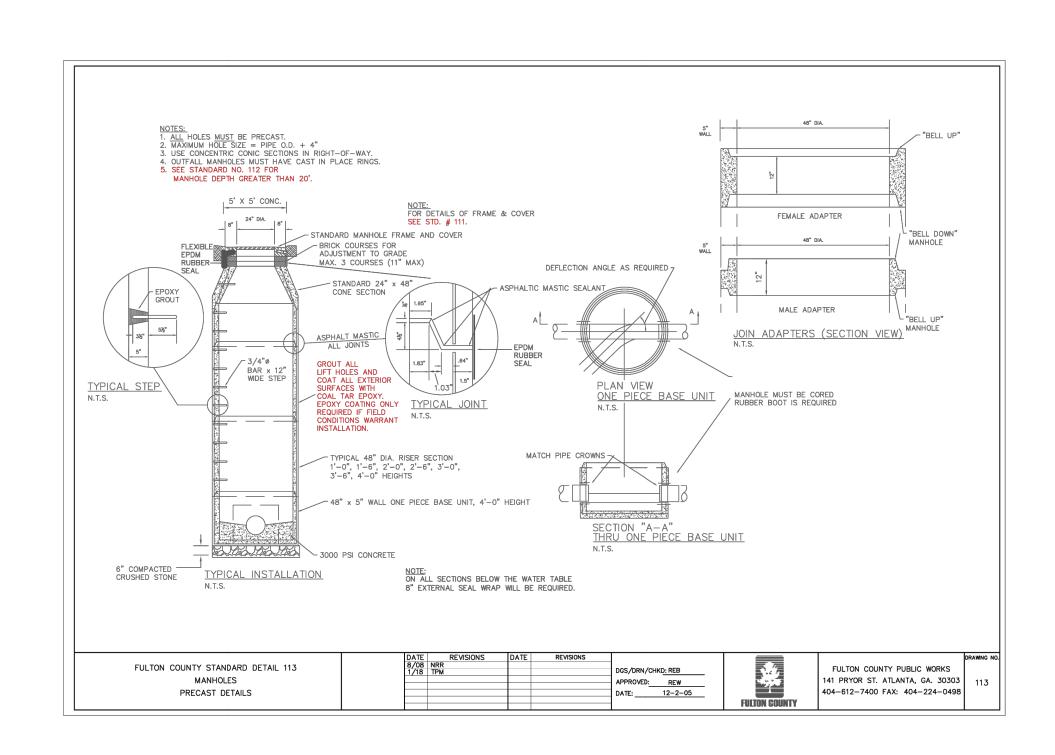
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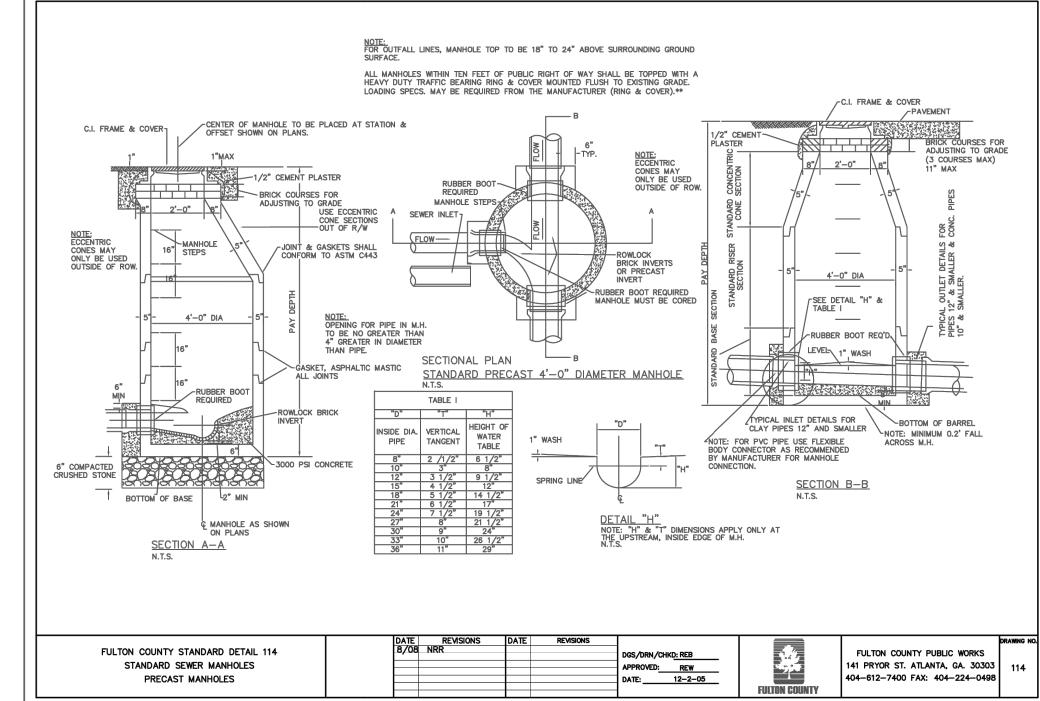


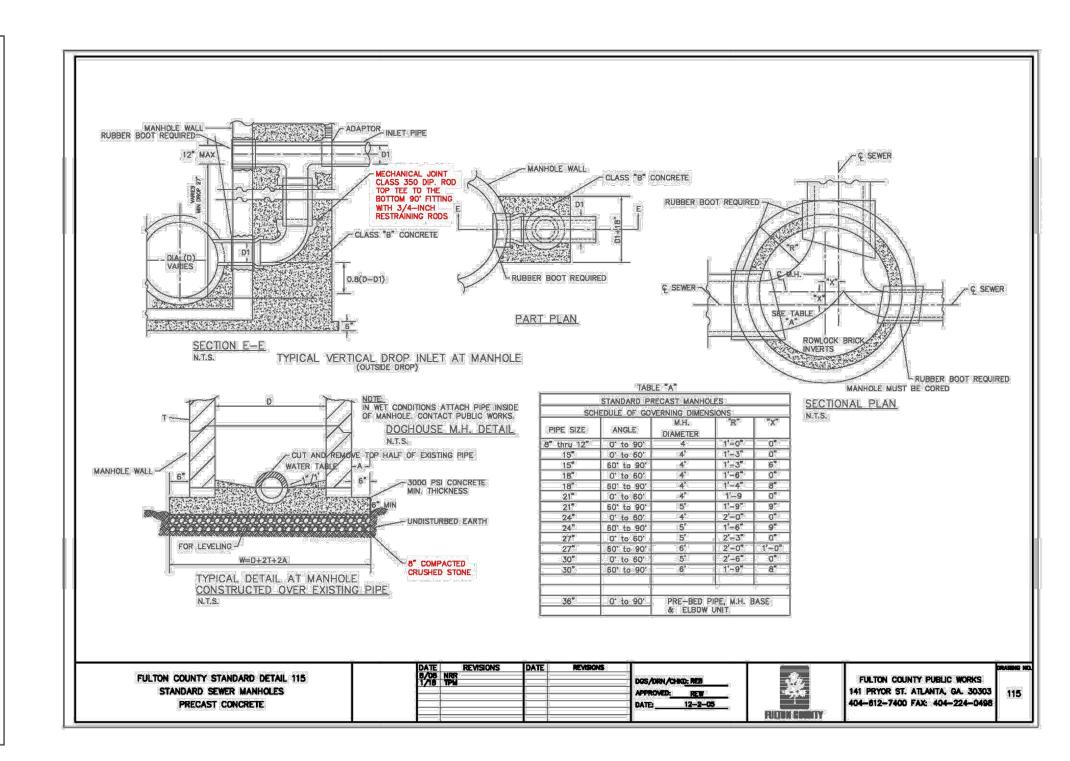


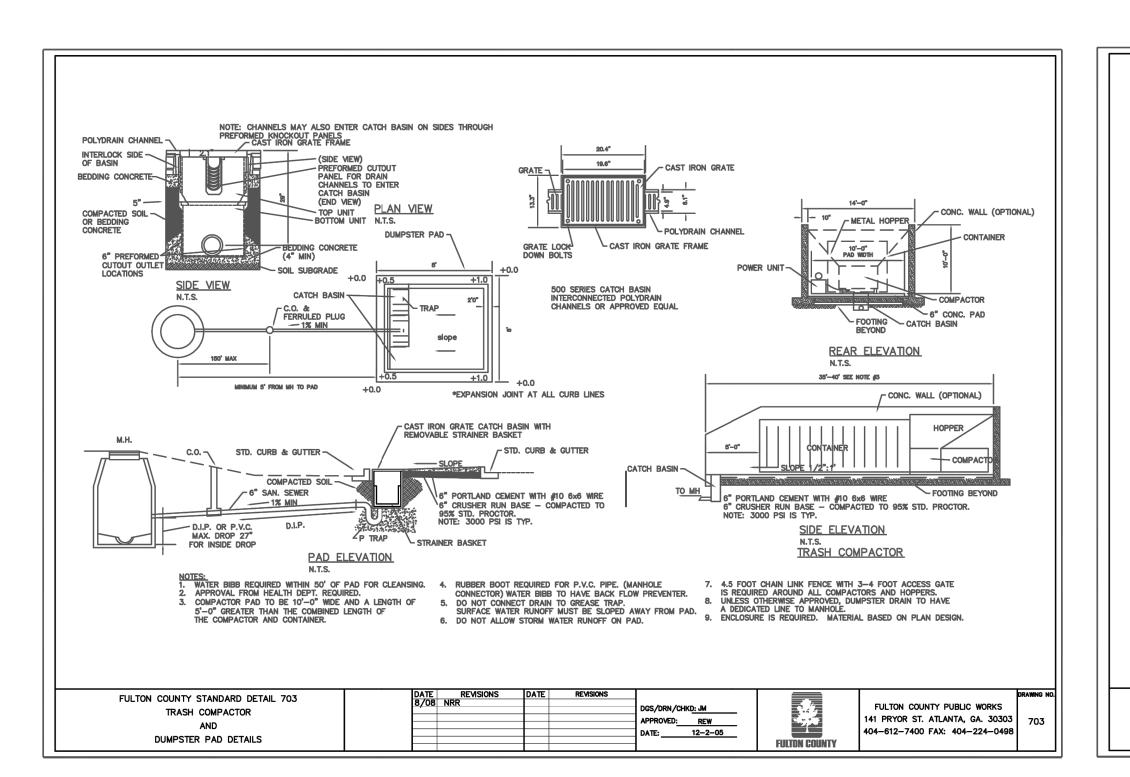


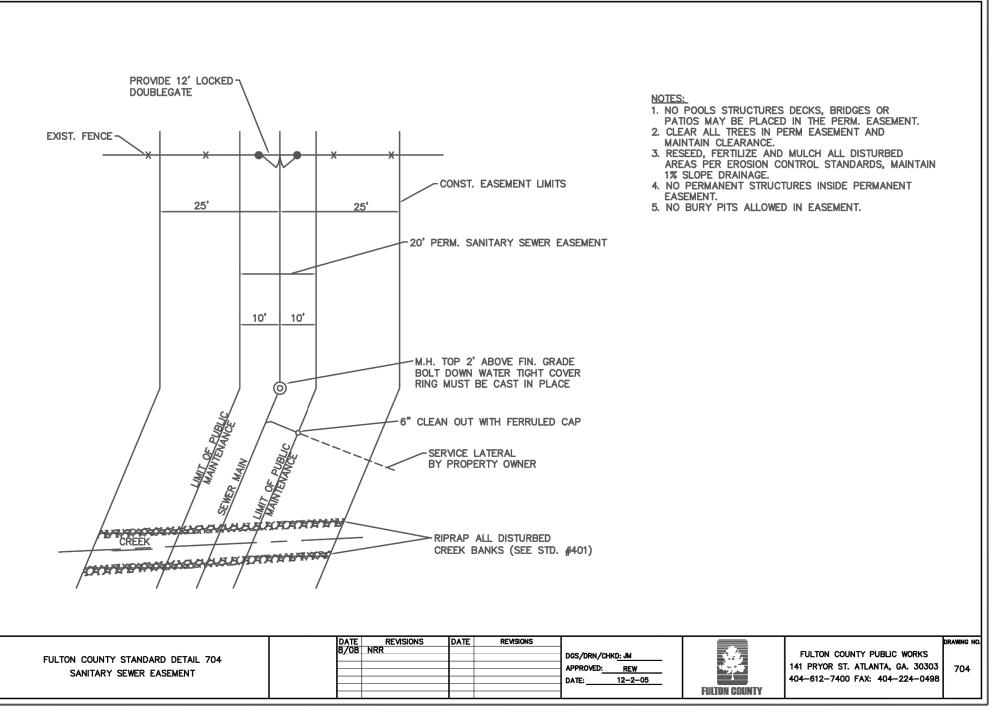


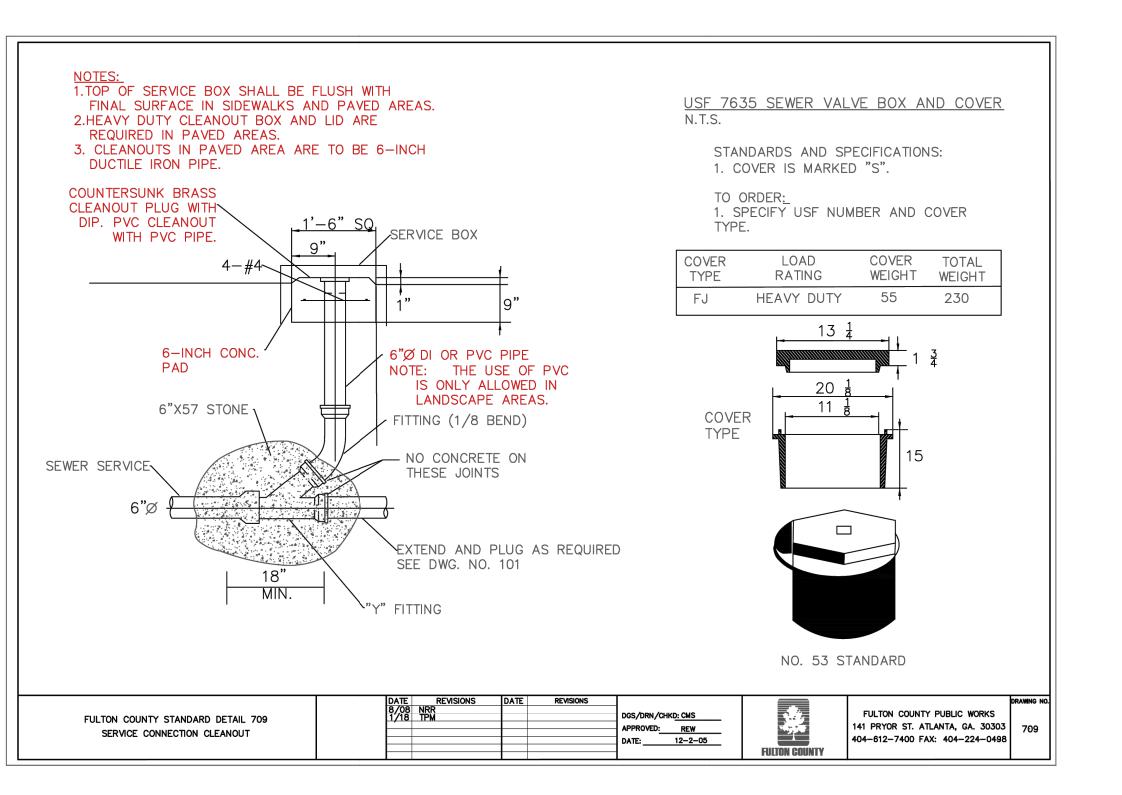


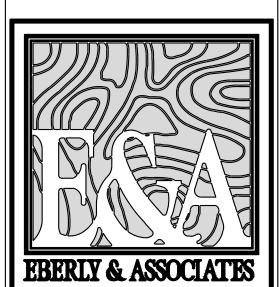












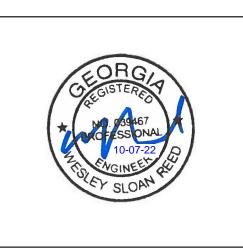
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05/20/2022	CONCEPT REVISION 1
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10/07/2022	CONCEPT REVISION 3

NA 03/14/2022
T. RAPP
WESLEY REED

SCALE:
DATE:
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PROJECT NO. 22-010

SHEET NO.

C7.6

1. EROSION CONTROL MEASURES SHALL BE AS A MINIMUM IN CONFORMANCE WITH "THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" BY THE GA. SOIL & WATER CONSERVATION ANY AND ALL SILT LEAVING THE SITE IS THE COMPLETE RESPONSIBILITY OF THE CONTRACTOR. ALL GRASSING SHALL BE IN ACCORDANCE WITH CHAPTER 6, SECTION III "VEGETATIVE PRACTICES" OF THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. ANY ADDITIONAL CONSTRUCTION OTHER THAN SHOWN ON THIS PLAN WILL REQUIRE SEPARATE AND ADDITIONAL FROSION AND SEDIMENT CONTROL MEASURES AND APPROVAL WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHALL BE UNIFORMLY SPREAD OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING DURING UNSUITABLE GROWING SEASONS, MULCH SHALL BE USED AS A TEMPORARY COVER

(Ds1) ON SLOPES THAT ARE 4:1 OR STEEPER MULCH SHALL BE ANCHORED ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED DAILY AND ANY DEFICIENCIES NOTED WILL BE CORRECTED BY THE END OF EACH DAY. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION. THE SITE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES INCLUDING REPLACING OR REPAIRING ANY DAMAGED DEVICES DUE TO ANY

CONSTRUCTION ACTIVITY BY OTHERS DURING ALL PHASES OF CONSTRUCTION. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED DAILY AND ANY DEFICIENCIES NOTED WILL BE CORRECTED BY THE END OF EACH DAY. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION BY THE ISSUING AUTHORITY. 10. NO ACTIVITIES SHALL BE CONDUCTED WITHIN THE STATE AND LOCAL JURISDICTION'S

STREAM BUFFER PROVIDE EACH SECONDARY PERMITTEE A COPY OF THE EROSION CONTROL PLANS. EACH SECONDARY PERMITTEE SHALL SIGN THE PLAN. ANY AMENDMENT TO THE EROSION CONTROL PLANS WHICH HAVE SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONA MINIMIZING WIND EROSION AND CONTROLLING DUST WILL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:

B. ROUGHENING THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. C. FREQUENT WATERING OF EXCAVATION AND FILL AREAS . PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES. 14. LIMIT OF DISTURBANCE SHALL BE NO GREATER THAN 50 ACRES AT ANY ONE TIME WITHOUT

A. COVERING 30% OR MORE OF THE SOIL SURFACE WITH NON-ERODIBLE MATERIAL.

PRIOR WRITTEN AUTHORIZATION FROM THE EPD DISTRICT OFFICE. MAINTAIN ALL EROSION CONTROL MEASURES THROUGH EVERY PHASE OF CONSTRUCTION.

CONTROL NOTES EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR

INITIAL SOIL EROSION & SEDMENTATION

PRIOR TO LAND DISTURBING CONSTRUCTION. PROVIDE AND MAINTAIN OFF-STREET PARKING ON-SITE STAGING AREAS, MATERIAL STORAGE, CONCRETE WASHOUT AREAS, OR DEBRIS BURN AND BURIAL HOLES SHALL NOT BE LOCATED WITHIN 500 FEET OF DESIGNATED TREE PROTECTION AREAS. NO BURN AND BURY PITS SHALL BE PERMITTED ON THE CONSTRUCTION SITE WITHOUT PERMISSION BY THE OWNER AND/OR THE ENGINEER OF RECORD THE LIMITS OF LAND DISTURBANCE AND ALL STREAM BUFFERS SHALL BF CLEARLY AND

ACCURATELY DEMARCATED AND MAINTAINED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITY. LAND DISTURBANCE SHALL NOT BE ALLOWED OUTSIDE THE APPROVED LIMITS AS INDICATED ON THE APPROVED PLANS. PRIOR TO ANY OTHER CONSTRUCTION. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY TO OR EXIT FROM THE SITE OR ONTO ANY PUBLIC THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT

TRACK OR FLOW OF MUD ONTO PUBLIC RIGHT OF WAY DURING ALL PHASES OF CONSTRUCTION THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1"-3" STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE OR SITE ONTO PUBLIC ROADWAY OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY. IMMEDIATELY AFTER THE PLACEMENT OF THE CONSTRUCTION ENTRANCE, ALL PERIMETER EROSION CONTROL AND STORM WATER MANAGEMENT DEVICES SHALL BE INSTALLED AS SHOWN

ON THE INITIAL EROSION CONTROL PLAN. SILT FENCE SHALL BE INSTALLED AT THE PERIMETER OF THE DISTURBED AREA AS SHOWN ON THE PLAN. THE SILT FENCE SHALL BE KEPT ERECT AT ALL TIMES AND REPAIRED AS NECESSARY SILT BARRIERS SHALL BE PLACED AT DOWNSTREAM TOE OF ALL CUT AND FILL SLOPES. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITY

AND MAINTAINED UNTIL FINAL LANDSCAPE IS INSTALLED. INSPECT AND REPAIR FENCE DAILY INLET SEDIMENT PROTECTION MEASURES SHALL BE INSTALLED ON ALL EXISTING STORM STRUCTURES AS SHOWN ON THE PLAN. STONE CHECK DAMS SHALL BE INSTALLED IN AREAS OF CONCENTRATED FLOWS AS SHOWN ON THE PLAN CLEARED TREES MAYBE UTILIZED AS BARRIER BRUSH SEDIMENT CONTROL ADDITIONAL SILT BARRIERS MUST BE PLACED AS SHOWN ON PLANS AS ACCESS IS OBTAINED

DURING CLEARING. NO GRADING SHALL TAKE PLACE UNTIL SILT BARRIER INSTALLATION AND

INSPECT SEDIMENT AND EROSION CONTROL MEASURES AFTER EACH RAIN EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ON HALF THE CAPACITY OF THE DEVICE. INSTALL ADDITIONAL DEVICES AS NECESSAR ALL GRASSING SHALL BE IN ACCORDANCE WITH CHAPTER 6. SECTION III "VEGETATIVE PRACTICES" OF THE MANUAL FOR FROSION AND SEDIMENT CONTROL IN GEORGIA ANY ADDITIONAL CONSTRUCTION OTHER THAN SHOWN ON THIS PLAN WILL REQUIRE SEPARATE AND ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AND APPROVAL DISTURBED AREAS LEFT IDLE FOR 14 DAYS, AND NOT TO FINAL GRADE, WILL BE STARII IZED WITH MUI CH OR TEMPORARY VEGETATION (Ds1). DISTURBED AREAS LEFT MULCHED FOR 30 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION (Ds2).

SEDIMENT PONDS ARE CONSTRUCTED.

PREVIOUS LOCATION

ITEM#

WITHIN 14 DAYS (Ds3) WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHALL BE UNIFORMLY SPREAD OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING. DURING UNSUITABLE GROWING SEASONS, MULCH SHALL BE USED AS A TEMPORARY COVER (Ds1). ON SLOPES THAT ARE 4:1 OR STEEPER, MULCH SHALL BE ANCHORED.

ALL AREAS BROUGHT TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION

INTERMEDIATE SOIL EROSION & SEDMENTATION CONTROL NOTES

MAINTAIN INITIAL EROSION CONTROL MEASURES THROUGHOUT INTERMEDIATE PHASE. CONTROL EARTHWORK OPERATIONS IN THE VICINITY OF STREAM BUFFERS TO AVOID DUMPING OR SLOUGHING INTO BUFFER AREAS DO NOT ALLOW SEDIMENT TO BE WASHED INTO INLETS. REMOVE SEDIMENT FROM SEDIMENT TRAPS AND DISPOSE OF AND STABILIZE SO THAT IT WILL NOT ENTER THE INLETS AGAIN. INSTALL EROSION CONTROL DEVICES IMMEDIATELY AFTER GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILIT TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES OF CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE OWNER OR DESIGN PROFESSIONAL. MAINTAIN AND FURNISH ALL NECESSARY BARRICADES WHILE ROADWAY FRONTAGE IMPROVEMENTS ARE BEING MADE

SILT FENCE SHALL BE INSTALLED AT THE TOE OF ALL SLOPES 10 FEET OR GREATER IN HEIGHT. THE SILT FENCE SHALL BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED ON THE SLOPE. SILT SHALL BE REMOVED WHEN ACCUMULATION REACHES 1/2 HEIGHT THE BARRIER INSTALL BARRIERS AT THE TOE OF SLOPES UNDER CONSTRUCTION. THESE BARRIERS MAY BE RELOCATED AND REUSED AFTER PERMANENT SLOPE STABILIZATION BECOMES FULLYESTABLISHED. REPLACE ANY DEFECTIVE MATERIALS IN THE BARRIER AND REMOVE DEBRIS AND SILT AT THE

PLACE SILT FENCE AT THE TOE OF ALL DIRT STOCKPILE AREAS AND SEED WITH INSTALL INLET SEDIMENT PROTECTION MEASURES ON ALL STORM STRUCTURES AS THEY ARE CONSTRUCTED INSTALL STONE CHECK DAMS IN AREAS OF CONCENTRATED FLOWS AS SHOWN ON THE PLAN. APPLY VEGETATIVE COVER ON ALL DRAINAGE SWALES AS SOON AS FINAL GRADE IS ACHIEVED APPLY VEGETATIVE COVER ON ALL GRADED AREAS AS SOON AS FINAL GRADE IS ACHIEVED. APPLY MULCH OR TEMPORARY GRASSING TO ALL EXPOSED AREAS WITHIN 14 DAYS OF LAND

DISTURBANCE STABILIZE ALL DISTURBED AREAS LEFT MULCHED AFTER 30 DAYS WITH TEMPORARY GRASSING CONSTRUCT TEMPORARY SEDIMENT BASINS AND DIVERSION DIKES AS SHOWN ON PLAN AFTER PRELIMINARY GRADING ACTIVITIES. MAINTAIN THE SEDIMENT POND UNTIL GRADING OPERATIONS

ARE COMPLETE AND THE SITE IS PERMANENTLY STABILIZED. SEDIMENT SHALL BE CLEANED OUT OF THE PONDS WHEN IT REACHES THE 1/3 DEPTH OF BASIN. INSPECT SEDIMENT AND EROSION CONTROL MEASURES AFTER EACH RAIN EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ON HALF THE CAPACITY OF THE DEVICE. INSTALL ADDITIONAL DEVICES AS NECESSARY

DISPOSE OF AND STABILIZE SO THAT IT WILL NOT ENTER THE INLETS AGAIN.

FINAL SOIL EROSION & SEDMENTATION **CONTROL NOTES**

DO NOT ALLOW SEDIMENT TO BE WASHED INTO INLETS. REMOVE SEDIMENT FROM SEDIMENT TRAPS AND

MAINTAIN INITIAL AND INTERMEDIATE EROSION CONTROL MEASURES THROUGHOUT FINAL PHASE.

REPLACE & REMOVE INLET SEDIMENT TRAPS WITH CURB FILTER INLET PROTECTION AFTER CURBING GRADED AGGREGATE BASE AND PAVEMENT HAS BEEN INSTALLED. MAINTAIN TEMPORARY SEDIMENT BASINS AND OTHER EROSION CONTROL MEASURES UNTIL THE SITE IS PERMANENTLY STABILIZED. SEDIMENT SHALL BE CLEANED OUT OF THE PONDS WHEN IT REACHES THE 1/3 DEPTH OF BASIN APPLY VEGETATIVE COVER AS SOON AS FINAL GRADE IS ACHIEVED BEHIND CURBS OF ALL ROADWAY AND PARKING SHOULDERS INSPECT SEDIMENT AND EROSION CONTROL MEASURES AFTER EACH RAIN EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ON HALF THE CAPACITY OF THE DEVICE. INSTALL ADDITIONAL DEVICES AS NECESSARY REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND DISPOSE OF THEM OFF-SITE UPON

FINAL STABILIZATION OF THE PROJECT AND CERTIFICATE OF OCCUPANCY. "FINAL STABILIZATION" MEANS THAT ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED, AND THAT FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES AND AREAS LOCATED OUTSIDE THE WASTE DISPOSAL LIMITS OF A LANDFILL CELL THAT HAS BEEN CERTIFIED BY EPD FOR WASTE DISPOSAL 100% OF THE SOIL SURFACE IS UNIFORMLY COVERED IN PERMANENT VEGETATION WITH A DENSITY OF 70% OR GREATER, OR FOLIVALENT PERMANENT STABILIZATION MEASURES (SLICH AS THE USE OF RIP RAP GABIONS. PERMANENT MULCHES OR GEOTEXTILES) HAVE BEEN USED. PERMANENT VEGETATION SHALL CONSIST OF: PLANTED TREES, SHRUBS, PERENNIAL VINES; A CROP OF PERENNIAL VEGETATION PROPRIATE FOR THE TIME OF YEAR AND REGION: OR A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET CROP PERENNIALS APPROPRIATE FOR THE REGION. FINAL STABILIZATION APPLIES TO EACH PHASE OF

CONSTRUCTION

ITEM# THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE||INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPS WITHIN 7 DAYS AFTER INSTALLATION.

NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

NO WASTE WILL BE DISPOSED OF INTO STORM WATER INLETS OR WATERS OF THE STATE, EXCEPT AS **AUTHORIZED BY A SECTION 404 PERMIT**

ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THI DUMPSTER WILL MEET ALL SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF ONCE PER WEEK OR MORE OFTEN IF NECESSARY AND TRASH WILL BE HAULED AS REQUIRED BY LOCAL REGULATIONS. NO CONSTRUCTION WASTE WILL BE BURIED ON SITE.

ALL PERSONNEL WILL BE INSTRUCTED ON PROPER PROCEDURES FOR WASTE DISPOSAL. A NOTICE STATING THESE PRACTICES WILL BE POSTED AT THE JOBSITE AND THE CONTRACTOR WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

HAZARDOUS WASTE

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL, STATE, AND/OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. THE JOB SITE SUPERINTENDENT WHO WILL ALSO BE RESPONSIBLE FOR MAKING SURE THAT THESE PRACTICES ARE FOLLOWED WILL INSTRUCT SITE PERSONNEL IN THESE PRACTICES. MATERIAL SAFETY DATA SHEETS (MSDS'S) FOR EACH SUBSTANCE WITH HAZARDOUS PROPERTIES THAT IS USED ON THE JOB SITE WILL BE OBTAINED AND USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTES THAT MAY RESULT FROM THESE PRODUCTS. AN MSDS WILL BE MAINTAINED IN THE ESPCP FILE AT THE JOB SITE CONSTRUCTION TRAILER OFFICE. EACH EMPLOYEE WHO MUST HANDLE A SUBSTANCE WITH HAZARDOUS PROPERTIES WILL BE INSTRUCTED ON THE USE OF MSDS SHEETS AND THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS FOR THE PRODUCT HE/SHE IS USING, PARTICULARLY REGARDING SPILL CONTROL TECHNIQUES.

THE CONTRACTOR WILL IMPLEMENT THE SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) PLAN FOUND WITHIN THE ESPCP AND WILL TRAIN ALL PERSONNEL IN THE PROPER CLEANUP AND HANDLING OF SPILLED MATERIALS. NO SPILLED HAZARDOUS MATERIALS OR HAZARDOUS WASTES WILL BE ALLOWED TO COME IN CONTACT WITH STORMWATER DISCHARGES. IF SUCH CONTACT OCCURS, THE STORMWATER DISCHARGE WILL BE CONTAINED ON SITE UNTIL APPROPRIATE MEASURES IN COMPLIANCE WITH STATE AND FEDERAL REGULATIONS ARE TAKEN TO DISPOSE OF SUCH CONTAMINATED STORMWATER. IT SHALL BE THE RESPONSIBILITY OF THE JOB SITE SUPERINTENDENT TO PROPERLY TRAIN ALL PERSONNEL IN THE USE OF THE

SANITARY WASTES

A MINIMUM OF ONE PORTABLE SANITARY UNIT WILL BE PROVIDED FOR EVERY TEN (10) WORKERS ON THE SITE. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONE TIME PER WEEK BY A LICENSED PORTABLE FACILITY PROVIDER IN COMPLETE COMPLIANCE WITH LOCAL AND STATE REGULATIONS. ALL SANITARY WASTE UNITS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE UNIT CONTRIBUTING TO STORM WATER DISCHARGE IS NEGLIGIBLE. ADDITIONAL CONTAINMENT BMP'S MUST BE IMPLEMENTED. SUCH AS GRAVEL BAGS OR SPECIALLY DESIGNED PLASTIC SKID CONTAINERS AROUND THE BASE TO PREVENT WASTES FROM CONTRIBUTING TO STORMWATER DISCHARGES. THE LOCATION OF SANITARY WASTE UNITS MUST BE IDENTIFIED ON THE EROSION CONTROL PLAN GRADING PHASE SHEET EC3.0 BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED

SANITARY SEWER WILL BE PROVIDED BY MUNICIPAL AUTHORITY/SEPTIC SYSTEM AT THE COMPLETION OF THIS PROJECT. THE ES&PC PLAN MUST BE IN COMPLIANCE WITH WASTE DISPOSAL, SANITARY SEWER, OR SEPTIC TANK REGULATIONS DURING AND AFTER CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.

PRODUCT SPECIFIC PRACTICES

PETROLEUM BASED PRODUCTS - CONTAINERS FOR PRODUCTS SUCH AS FUELS, LUBRICANTS AND TARS WILL BE INSPECTED DAILY FOR LEAKS AND SPILLS. THIS INCLUDES ON-SITE VEHICLE AND MACHINERY DAILY. INSPECTIONS AND REGULAR PREVENTATIVE MAINTENANCE OF SUCH EQUIPMENT. EQUIPMENT MAINTENANCE AREAS WILL BE LOCATED AWAY FROM STATE WATER, NATURAL DRAINS AND STORM WATER DRAINAGE INLETS. IN ADDITION, TEMPORARY FUELING TANKS SHALL HAVE A SECONDARY CONTAINMENT LINER TO PREVENT/MINIMIZE SITE CONTAMINATION DISCHARGE OF OILS FUELS AND LUBRICANTS IS PROHIBITED PROPER DISPOSAL METHODS WILL INCLUDE COLLECTION IN A SUITABLE CONTAINER AND DISPOSAL AS REQUIRED BY LOCAL AND STATE REGULATIONS.

PAINTS/FINISHES/SALVENTS - ALL PRODUCTS WILL BE STORED IN TIGHTLY SEALED ORIGINAL CONTAINERS WHEN NOT IN USE. EXCESS PRODUCT WILL NOT BE DISCHARGED TO THE STORM WATER COLLECTION SYSTEM. EXCESS PRODUCT, MATERIALS USED WITH THESE PRODUCTS AND PRODUCT CONTAINERS WILL BE DISPOSED OF ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

CONCRETE TRUCK WASHING - NO CONCRETE TRUCKS WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS ITEM# CONCRETE OF DRUM WASH WATER ONSITE FERTILIZER/HERBICIDES - THESE PRODUCTS WILL BE APPLIED AT RATES THAT DO NOT EXCEED THE

MANUFACTURER'S SPECIFICATIONS OR ABOVE THE GUIDELINES SET FORTH IN THE CROP ESTABLISHMENT OR IN

THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IF GEORGIA. ANY STORAGE OF THESE MATERIALS

WILL BE UNDER ROOF IN SEALED CONTAINERS. BUILDING MATERIALS - NO BUILDING MATERIALS OR CONSTRUCTION MATERIALS WILL BE BURIED OR DISPOSED OF ONSITE. ALL SUCH MATERIAL WILL BE DISPOSED OF IN PROPER WASTE DISPOSAL PROCEDURES

SPILL CONTROL PRACTICES-PRACTICES

1. DISCHARGE OF NEW OR USED OIL, FUEL, LUBRICANTS, ETC. IS PROHIBITED, UTILIZE CONTAINMENT SYSTEMS, RECYCLED USED OILS, CONTAMINATED FUELS AND LUBRICANTS, ILLEGAL DISCHARGES ARE SUBJECT TO 2. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS THAT SHALL BE CLEARLY

LABELED AND STORED IN A CLEARLY IDENTIFIED AREA. ANY ASPHALT SUBSTANCES USED ON-SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. 3. FERTILIZERS USED SHALL BE APPLIED IN THE MINIMUM AMOUNTS RECOMMENDED BY THE ANUFACTURER. ONCE APPLIED, FERTILIZER SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. ANY FERTILIZERS THAT ARE TO BE STORED ON-SITE, SHALL BE STORED IN A PROTECTED SECURABLE ENCLOSURE THE CONTENTS OF ANY PARTIALLY USED BAGS AT FERTILIZERS SHALL BE TRANSFERRED TO A

CLEARLY TO A CLEARLY LABELED, SEAL ABLE PLASTIC CONTAINER TO AVOID SPILLS. 4. CONCRETE TRUCKS SHALL BE ALLOWED TO WASH OUT, DISCHARGE AND DRUM WASH ONLY AT THE IDENTIFIED EQUIPMENT MAINTENANCE AREAS. MAINTENANCE AREAS SHALL BE EQUIPPED WITH A DISCHARGE CONTAINMENT AREA (LE FARTH BERMS SURROUNDING AREA). THE CONTAINMENT AREA SHALL

BE CLEANED UP AND REMOVED FROM THE SITE UPON COMPLETION OF CONCRETE INSTALLATION WORK. LOCAL, STATE, AND MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES

6. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIALS SHALL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MAPS, RAGS, GLOVES, GOGGLES, RESPIRATORS, CAT LITER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE

7. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY UPON DISCOVERY 8. THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL SHALL WEAR THE APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS

SUBSTANCE. 9. THE SPILL PREVENTION PLAN SHALL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES SHALL ALSO BE INCLUDED. 10. ALL FUEL STORAGE SHALL BE PROVIDED OFFSITE. ALL FUELING AND EQUIPMENT STORAGE SHALL BE PERFORMED AT THE DESIGNATED LOCATION SHOWN ON THE PLANS. A COVERED 55 GALLON DRUM AND A SHOVEL SHALL BE PLACED AT THIS LOCATION. ALL SPILLS DURING FUELING OF LEAKS FROM THE EQUIPMENT SHALL BE REMOVED TO FULL DEPTH OF SOIL CONTAMINATION AND THE SOIL SHALL BE PLACED IN THE DRUM. WHEN THE DRUM IS FULL, DISPOSE OF DRUM PROPERLY IN AN APPROVED ENVIRONMENTAL PROTECTION AGENCY (EPA) HAZARDOUS LAND FILL. FOR SPILLS 25 GALLONS AND GREATER MUST BE REPORTED T O THE EPA AT 1-800-241-4113 AND THE NATIONAL RESPONSE CENTER AT 1-800-424-8802. THESE

PLANS DO NOT AUTHORIZE THE DISCHARGE OF HAZARDOUS MATERIALS OR OILS RESULTING FROM AN

ITEM#

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ONSITE SPILL.

BUILDING MATERIAL STORAGE PROVIDE COVER (E.G. PLASTIC SHEETING, TEMPORARY ROOFS) FOR BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE AND OTHER MATERIALS PRESENT ON THE SITE. COVER WILL BE UTILIZED TO MINIMIZE THE EXPOSURE OF THESE PRODUCTS TO PRECIPITATION AND TO NEGATE STORMWATER DISCHARGE OF POLLUTANTS FROM THESE AREAS.

GRADING RECORD

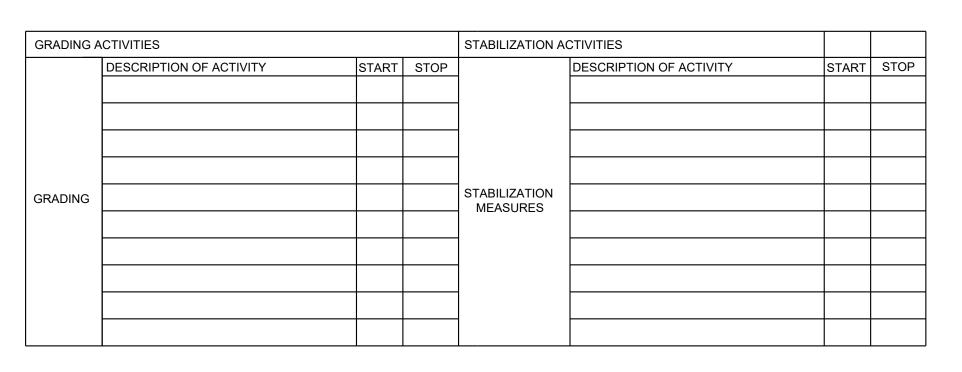
THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED

MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH.

LAND DISTURBING ACTIVITIES

BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL

A GRADING RECORD MUST BE MAINTAINED BY THE CONTRACTOR THROUGHOUT THE DURATION OF CONSTRUCTION. GRADING REFERENCED IN GAR 100001 PART IV.D.3.a.(1).(a) AND (b).



ANY AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPS WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, ITEM# IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT. PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION

ITEM#

AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABLIZED WITH MULCH OR TEMPORARY SEEDING

PRE-DEV POST-DEV

ITEM#	BASIN NO.	(100-YR) CFS	(100-YR) CFS
43	1	154.05	116.17
	2	8.036	4.018
	3	11.01	9.931
	4	15.47	5.740

N.P.D.E.S. NOTES FROM PERMIT NO. GAR 100001

ALL PARTIES INVOLVED WITH THE COMPLETION OF THE PROPOSED PROJECT SHALL READ, FAMILIARIZE THEMSELVES AND COMPLY WITH GENERAL PERMIT NO. GAR 100001.

THE PLAN SHALL INCLUDE, AS A MINIMUM, BEST MANAGEMENT PRACTICES, INCLUDING SOUND CONSERVATION AND ENGINEERING PRACTICES TO PREVENT AND MINIMIZE EROSION AND RESULTANT SEDIMENTATION, WHICH ARE CONSISTENT WITH, AND NO LESS STRINGENT THAN, THOSE PRACTICES CONTAINED IN THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED AND O.C.G.A. 12-7-6, AS WELL AS THE FOLLOWING: PART I. COVERAGE UNDER THIS PERMIT

C. FLIGIBILITY.

1. CONSTRUCTION ACTIVITIES. THIS PERMIT AUTHORIZES, SUBJECT TO THE CONDITIONS OF THIS A. ALL DISCHARGES OF STORM WATER ASSOCIATED WITH STAND ALONE CONSTRUCTION PROJECTS THAT WILL RESULT IN LAND DISTURBANCE EQUAL TO OR GREATER THAN ONE (1)

ACRE OCCURRING ON OR BEFORE, AND CONTINUING AFTER, THE EFFECTIVE DATE OF THIS PERMIT, (HENCEFORTH REFERRED TO AS EXISTING STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES) EXCEPT FOR DISCHARGES IDENTIFIED UNDER PART I.C.3.; AND B. ALL DISCHARGES OF STORM WATER ASSOCIATED WITH STAND ALONE CONSTRUCTION PROJECTS THAT WILL RESULT IN LAND DISTURBANCE EQUAL TO OR GREATER THAN ONE (1) ACRE OCCURRING AFTER THE EFFECTIVE DATE OF THIS PERMIT. (HENCEFORTH REFERRED TO

AS EXISTING STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES) C. COVERAGE UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH MINOR LAND DISTURBING ACTIVITIES (SUCH AS HOME GARDENS AND INDIVIDUAL HOME LANDSCAPING, REPAIRS, MAINTENANCE WORK, FENCES AND OTHER RELATED ACTIVITIES WHICH RESULT IN MINOR SOIL EROSION) CONDUCTED OUTSIDE OF THE 25 FOOT BUFFER ALONG THE BANKS OF ALL STATE WATERS REQUIRING A BUFFER AND OUTSIDE OF THE 50 FOOT BUFFER ALONG THE BANKS OF ALL STATE WATERS CLASSIFIED AS 'TROUT STREAMS' REQUIRING A BUFFER ON INDIVIDUAL RESIDENTIAL LOTS SOLD TO HOMEOWNERS WHERE ALL PLANNED CONSTRUCTION ACTIVITIES ON THAT LOT HAVE BEEN COMPLETED AND HAVE UNDERGONE FINAL STABILIZATION.

2. MIXED STORM WATER DISCHARGES. THIS PERMIT MAY ONLY AUTHORIZE A STORM WATER DISCHARGE FROM A CONSTRUCTION SITE OR CONSTRUCTION ACTIVITIES THAT IS MIXED WITH A STORM WATER DISCHARGE FROM AN INDUSTRIAL SOURCE OR ACTIVITY OTHER THAN CONSTRUCTION WHERE

A. THE INDUSTRIAL SOURCE OR ACTIVITY OTHER THAN CONSTRUCTION IS LOCATED ON THE SAME SITE AS THE CONSTRUCTION ACTIVITY AND IS AN INTEGRAL PART OF THE CONSTRUCTION ACTIVITY:

B. THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES ARE OCCURRING ARE IN COMPLIANCE WITH THE TERMS OF THIS PERMIT: AND C. STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE AREAS OF THE SITE WHERE INDUSTRIAL ACTIVITY OTHER THAN CONSTRUCTION ARE OCCURRING ARE

COVERED BY A DIFFERENT NPDES GENERAL PERMIT OR INDIVIDUAL PERMIT AUTHORIZING SUCH DISCHARGES AND THE DISCHARGES ARE IN COMPLIANCE WITH A DIFFERENT NPDES PERMIT. 3. LIMITATIONS ON COVERAGE. THE FOLLOWING STORM WATER DISCHARGES FROM

CONSTRUCTION SITES ARE NOT AUTHORIZED BY THIS PERMIT: A. STORM WATER DISCHARGES ASSOCIATED WITH AN INDUSTRIAL ACTIVITY THAT ORIGINATE FROM THE SITE AFTER CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED AND THE SITE

HAS UNDERGONE FINAL STABILIZATION; B. DISCHARGES THAT ARE MIXED WITH SOURCES OF NON-STORM WATER OTHER THAN DISCHARGES WHICH ARE IDENTIFIED IN PART III.A.2. OF THIS PERMIT AND WHICH ARE IN

COMPLIANCE WITH PART IV.D.7. (NON-STORM WATER DISCHARGES) OF THIS PERMIT; C. STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY THAT ARE SUBJECT TO AN EXISTING NPDES INDIVIDUAL OR GENERAL PERMIT. SUCH DISCHARGES MAY BE AUTHORIZED UNDER THIS PERMIT AFTER AN EXISTING PERMIT EXPIRES PROVIDED THE EXISTING PERMIT DID NOT ESTABLISH NUMERIC LIMITATIONS FOR SUCH DISCHARGES: AND

DETERMINED TO BE OR MAY REASONABLY BE EXPECTED TO BE CONTRIBUTING TO A VIOLATION OF A WATER QUALITY STANDARD. 4. COMPLIANCE WITH WATER QUALITY STANDARDS. NO DISCHARGES AUTHORIZED BY THIS

D. STORM WATER DISCHARGES FROM CONSTRUCTION SITES THAT THE DIRECTOR (EPD) HAS

PERMIT SHALL CAUSE VIOLATIONS OF GEORGIA'S IN-STREAM WATER QUALITY STANDARDS AS PROVIDED BY THE RULES AND REGULATIONS FOR WATER QUALITY CONTROL, CHAPTER 391-3-6-.03

						391-3-003					
SOIL TYP	PES										
SYMBOL	SOIL NAME	DEPTH	ERODIBILITY	PERMEABILITY	TEXTURE	DRAINAGE	SLOPE	STRUCTURE	HYDROLOGIC SOIL GROUP	EROSION	FACTORS
		(inches)		(inches/hour)						К	Т
AgC	APPLING-HARD LABOR COMPLEX	0-6	SLIGHT	0.57-1.98	SANDY LOAM	WELL DRAINED	6-10	GRANULAR	В	5	0.20
CaA	CARTECAY- TOCCOA COMPLEX	0-4	SLIGHT	1.98-5.95	SANDY LOAM	WELL DRAINED	0-2	GRANULAR	A/D	5	0.15
CeB2	CECIL SANDY LOAM	0-4	SEVERE	0.57-1.98	SANDY LOAM	WELL DRAINED	2-6	GRANULAR	В	5	0.17
ReD	RION SANDY LOAM	0-4	SLIGHT	0.57-1.98	SANDY LOAM	WELL DRAINED	10-15	GRANULAR	В	5	0.15
RoE	RION-LOUISBURG COMPLEX	0-7	SLIGHT	0.57-1.98	SANDY LOAM	WELL DRAINED	10-20	GRANULAR	В	5	0.17
WbA	WEHADKEE- CARTECAY COMPLEX	0-5	SLIGHT	0.57-1.98	SILT LOAM, SANDY CLAY LOAM	WELL DRAINED	0-2	GRANULAR	B/D	5	0.37

SOILS INFORMATION WAS TAKEN FROM THE ONLINE WEB SOIL SURVEY. DATED MARCH 10. 2022

N.P.D.E.S. PERMIT REQUIREMENTS

FOR PART IV SECTION D

THE PROPOSED PROJECT IS LOCATED IN THE 9F DISTRICT, LANDLOT 33 & 34, PARCEL

PARTICULARLY LOCATED ON HIGHWAY 91 AND WHITEWATER PLACE. THE PROPOSED

LOTS, LANDSCAPING, AND UTILITIES TO SERVE THE BUILDING AS WELL AS A STORM A

WILL INCLUDE THE INSTALLATION OF, TEMPORARY SEDIMENT BASINS, TEMPORARY

INLETS, STORM PIPE AND RIP-RAP FOR OUTLET PROTECTION.

AS, ANY PORTION OF AN BIOTA IMPAIRED STREAM SEGMENT.

09F060000340553 AND 09D060000340991 OF FULTON COUNTY, GEORGIA. THE SITE IS MORE

CONSTRUCTION CONSISTS OF TWO WAREHOUSE DEVELOPMENTS. BUILDING B IS 206,960 S.F.

AND BUILDING C IS 253,800 S.F. THE PROPOSED CONSTRUCTION WILL ALSO INCLUDE PARKING

THIS PROJECT WILL UNDERGO CLEARING AND GRUBBING OPERATIONS WITH THE INITIAL BMP'S

IN PLACE. THESE INITIAL BMP'S WILL INCLUDE THE INSTALLATION OF THE SILT FENCE, THE

CONSTRUCTION ENTRANCES AND STONE CHECKDAMS. MASS GRADING OPERATIONS WILL

DOWNDRAINS, DIVERSION DITCHES, INLET SEDIMENT TRAPS, EROSION CONTROL MATTING,

IMPERVIOUS AREAS SUCH AS THE BUILDING AND ASPHALT PAVED ACCESS ROADS. AND

ASPHALT PAVED PARKING LOTS. PERVIOUS AREAS WILL BE SEEDED WITH PERMANENT

GRASSING. STORM DRAINAGE SYSTEMS WILL BE INSTALLED TO CONTROL STORMWATER

GRASSING, AND MAINTAINING THE INITIAL BMP'S. PERMANENT STABILIZATION WILL INCLUDE

RUN-OFF AFTER CONSTRUCTION IS COMPLETE. THESE SYSTEMS WILL INCLUDE STORMWATER

THE SITE IS CURRENTLY PAD GRADED AND HAS ZERO STRUCTURES ON THE PROPERTY. THE SITE

WAREHOUSE LOCATED TO THE SOUTH. THE HIGHWAY 92 LIES TO THE EAST AND WHITEWATER

WHITEWATER CREEK. A PORTION OF THIS PROPERTY DOES LIE WITHIN THE FLOOD HAZARD ZONE

STREAM SEGMENT, OR WITH IN 1 LINEAR MILE UPSTREAM OF AND WITHIN THE SAME WATERSHED

SEVEN SEDIMENTATION BASINS WILL BE USED ON THIS PROJECT TO MINIMIZE THE EROSION AND TO

CONTROL SILT. BASED ON THE SITE TOPOGRAPHY, SOILS AND NATURE OF CONSTRUCTION OF THIS

PARTICULAR SITE. THESE SEDIMENT BASINS ARE REQUIRED ALONG WITH THE USE OF SILT FENCE

COMPLETION THE ENTIRE SITE WILL BE SEEDED PERMANENTLY AND LANDSCAPED TO STABILIZE THE

AND OTHER MEASURES AS SHOWN ON THE PLAN. STILLING BASINS WILL BE PROVIDED AT ALL

OTHER STORM OUTLETS TO PROVIDE A SIMILAR EFFECT AS A FULL SEDIMENT BASIN. UPON

RAINFALL ACROSS IMPERVIOUS AREAS WILL PASS THROUGH SEDIMENTATION PONDS, TO BE

FURTHER FILTER STORMWATER AND PROVIDE INFILTRATION AND TREATMENT.

TREATED BY FILTRATION AND DISCHARGED INTO A NEARBY STREAM. RIPRAP APRONS AT THE

DISCHARGE SIDE OF OUTLET PIPE WILL REDUCE THE VELOCITY OF THE STORMWATER TO PREVENT

SCOURING AND EROSION. LANDSCAPED AREAS, VEGETATED STRIPS AND ASSOCIATED BUFFER WILL

ALSO HAS SLOPES RANGING FROM 0% TO 50% AND DRAINS INTO AN EXISTING STORMWATER

CONVEYANCE SYSTEM. THE ADJACENT AREAS INCLUDE I-85 TO THE NORTH. THE EXISTING

AE AS PER THE FULTON COUNTY COUNTY F.I.R.M. COMMUNITY PANEL NO. 13121C062F AND

13121C0470F DATED: SEP 18, 2013. THE STORM WATER DOES DISCHARGE INTO AN IMPAIRED

BEGIN, ONCE THE THE CLEARING AND GRUBBING IS COMPLETE. THE BMP'S FOR THIS PHASE

ITEM#

ITEM#

ITEM#

ITEM#

ITEM#

11>

NARRATIVE:

CONVEYANCE SYSTEM.

CREEK TO THE WEST OF THIS SITE.

SEDIMENTATION BASIN STATEMENT:

BUFFER ENCROACHMENT

NO BUFFER ENCHROACHMENTS

STORM WATER MANAGEMENT STATEMENT:

DESCRIPTION OF ANY BUFFER ENCROACHMENTS

33.54919°N, -84.55934°E AND 33.54724°N, -84.56654°E

GPS LOCATION OF CONSTRUCTION EXIT:

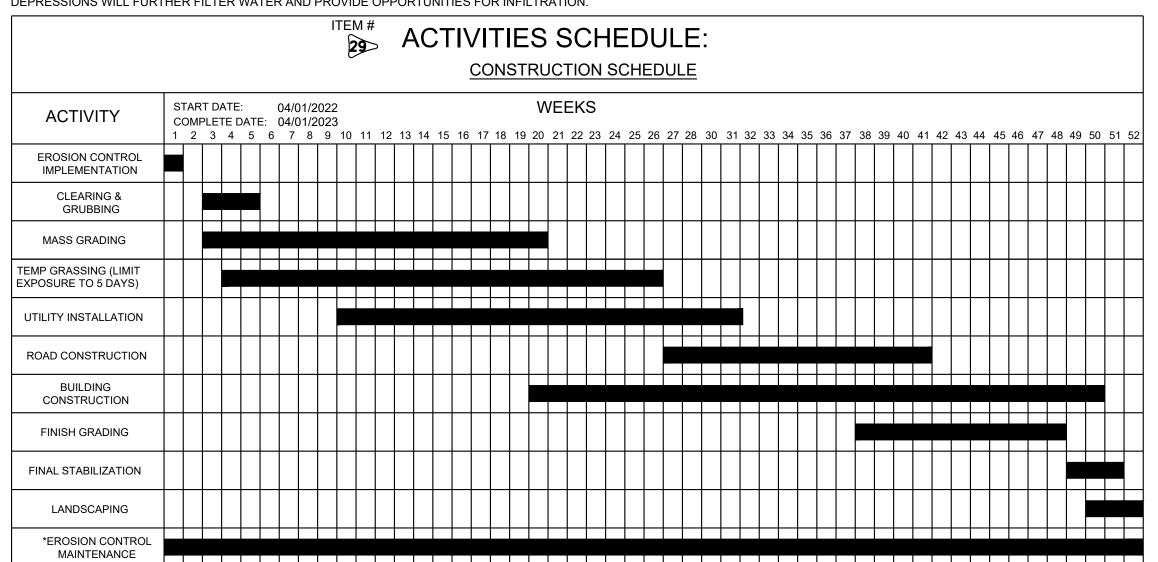
RECEIVING WATERS:

SOIL.

STAGING OF EARTHMOVING ACTIVITIES:

*MAINTAIN THROUGH OUT LIFE OF PROJECT

THIS SCHEDULE IS REPRESENTATIVE ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE MOST APPROPRIATE TIME SCHEDULE FOR CONSTRUCTION ACTIVITIES AND TO MAKE CERTAIN THAT THE CONSTRUCTION ACTIVITIES EFFECTIVELY CONTROL EROSION AND SEDIMENT ON-SITE. STRIPS AND NATURAL DEPRESSIONS WILL FURTHER FILTER WATER AND PROVIDE OPPORTUNITIES FOR INFILTRATION.



WEEK ONE TO WEEK TWO -UPON AWARD OF CONTRACT AND PRIOR TO GENERAL EARTHMOVING ACTIVITIES, THE CONTRACTOR SHALL INSTALL SILT FENCE, RETROFITTING FOR OUTLET CONTROL STRUCTURES, CONSTRUCTION ENTRANCE AND ANY OTHER PERIMETER CONTROLS NEEDED AS DETERMINED

IN THE FIELD. WEEK THREE - PERFORM CLEARING AND GRUBBING ACTIVITIES FOR TEMPORARY SEDIMENT BASINS OR THE DETENTION BASINS, CONSTRUCT THE OUTFALL PIPE FOR THE DETENTION BASINS AND INSTALL THE RIP-RAP APRON. CONSTRUCT THE DETENTION BASINS AND INSTALL THE RETROFIT AS SHOWN ON THE PLAN. WEEK FOUR TO FIVE - PERFORM CLEARING AND GRUBBING ACTIVITIES FOR THE REMAINING AREAS OF CONSTRUCTION. SALVAGE ANY TIMBER POSSIBLE. MAKE CERTAIN THAT THE EROSION CONTROLS ARE IN PLACE AND FUNCTIONAL AND THEN STRIP TOPSOIL FROM CONSTRUCTION AREAS, STOCKPILE ON SITE AND

SURROUND THE STOCKPILE WITH SILT FENCE AND ROCK FILTER OUTLETS. WEEK FIVE TO WEEK TWENTY - PERFORM ROUGH GRADING OPERATIONS AND BEGIN STORM SEWER AND OTHER UNDERGROUND UTILITY CONSTRUCTION. INSTALL RIPRAP APRONS AT ALL PIPE OUTFALLS AND INSTALL TEMPORARY SEDIMENT TRAPS AT ALL CATCH BASINS AS SOON AS THEY ARE CONSTRUCTED. WEEK TWENTY TO WEEK FIFTY TWO - INSTALL CURB AND GUTTER AND INSTALL ROAD AND PARKING SUBBASE AS SOON AS POSSIBLE. PERMANENTLY STABILIZE ANY AREAS THAT ARE AT FINAL GRADE AND

THE SECOND TIRE CLEANING FACILITY. WEEK NINETEEN TO WEEK FIFTY TWO - BUILDING CONSTRUCTION. WEEK FIFTY TO WEEK FIFTY TWO - PERFORM FINAL STABILIZATION ON ALL AREAS TO BECOME TURF WITH TOPSOIL, SEED AND MULCH. INSTALL LANDSCAPING AS SHOWN ON THE PLAN. ALL WEEKS - AFTER EACH STORM EVENT, ALL TEMPORARY EROSION CONTROL FACILITIES SHALL BE

PERFORM TEMPORARY STABILIZATION ON ANY AREAS THAT CANNOT BE PERMANENTLY STABILIZED. INSTALL

CLEANED. ALL SILT REMOVED DURING THE CLEANING OPERATIONS SHALL BE INCORPORATED INTO THE EARTHWORK AS FILL OR WASTED ON THE SITE AS DIRECTED BY THE CONTRACTING OFFICER 9. AFTER FINAL STABILIZATION HAS BEEN ACHIEVED, REMOVE ALL REMAINING TEMPORARY CONTROLS. ALL

AREAS DISTURBED DURING REMOVAL OF THE TEMPORARY CONTROLS MUST BE STABILIZED PRIOR TO PROJECT COMPLETION.

RUNOFF ESTIMATION INFORMATION:

TOTAL SITE AREA = 19.6 ACRES DISTURBED AREA = 18.6 ACRES

SEEFRIED INDUSTRIAL PROPERTIES

MATTBRUNE@SEEFRIEDPROPERTIES.COM

MATTBRUNE@SEEFRIEDPROPERTIES.COM

3333 RIVERWOOD PARKWAY SE

EBERLY & ASSOCIATES, INC

ATLANTA, GEORGIA 30341

WREED@EBERLY.NET

2951 FLOWERS ROAD SOUTH

ATLANTA, GA 30339

(404) 405-4052

WESLEY REED

SUITE 119

24 HOUR CONTACT

MATT BRUNE

(404) 405-4052

(770) 452-7849

PART III. SPECIAL CONDITIONS, MANAGEMENT PRACTICES, PERMIT VIOLATIONS AND OTHER LIMITATIONS

A. PROHIBITION ON NON-STORM WATER DISCHARGES. 1. EXCEPT AS PROVIDED IN PART I.C.2. AND III.A.2., ALL DISCHARGES COVERED BY THIS PERMIT SHALL BE COMPOSED ENTIRELY OF STORM WATER. . THE FOLLOWING NON-STORM WATER DISCHARGES MAY BE AUTHORIZED BY THIS PERMIT PROVIDED THE NON-STORM WATER COMPONENT OF THE DISCHARGE IS EXPLICITLY LISTED IN

PART IV.D.7.: DISCHARGES FROM FIRE FIGHTING ACTIVITIES; FIRE HYDRANT FLUSHING; POTABLE WATER SOURCES INCLUDING WATER LINE FLUSHING; IRRIGATION DRAINAGE; AIR CONDITIONING CONDENSATE: SPRINGS: UNCONTAMINATED GROUND WATER: AND FOUNDATION OR FOOTING DRAINS WHERE FLOWS ARE NOT CONTAMINATED WITH PROCESS MATERIALS OR POLLUTANTS 3. THIS PERMIT DOES NOT AUTHORIZE THE DISCHARGE OF SOAPS OR SOLVENTS USED IN VEHICL

THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN AND IS IN COMPLIANCE WITH

AND EQUIPMENT WASHING. 4. THIS PERMIT DOES NOT AUTHORIZE THE DISCHARGE OF WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM REALEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS B. RELEASES IN EXCESS OF REPORTABLE QUANTITIES.

1. THE DISCHARGE OF HAZARDOUS SUBSTANCES OR OIL IN THE STORM WATER DISCHARGE(S) FROM A SITE SHALL BE PREVENTED. THIS PERMIT DOES NOT RELIEVE THE PERMITTEE OF THE REPORTING REQUIREMENTS OF GEORGIA'S OIL OR HAZARDOUS MATERIAL SPILLS OR RELEASES ACT (O.C.G.A. §§12-14-2, ET SEQ.), 40 CFR PART 117 AND 40 CFR PART 302. WHERE A RELEASE CONTAINING A HAZARDOUS SUBSTANCE IN AN AMOUNT EQUAL TO OR IN EXCESS OF A REPORTING QUANTITY ESTABLISHED UNDER EITHER GEORGIA'S OIL OR HAZARDOUS MATERIAL SPILLS OR RELEASES ACT (O.C.G.A. §§12-14-2, ET SEQ.), 40 CFR 117 OR 40 CFR 302 OCCURS DURING A 24 HOUR PERIOD, THE PERMITTEE IS REQUIRED TO NOTIFY EPD AT (404) 656-4863 OR (800) 241-4113 AND THE NATIONAL RESPONSE CENTER (NRC) AT (800) 424-8802 IN ACCORDANCE WITH THE REQUIREMENTS OF GEORGIA'S OIL OR HAZARDOUS MATERIAL SPILLS OR RELEASES ACT (O.C.G.A. §§12-14-2, ET SEQ.), 40 CFR 117 AND 40 CFR 302 AS

SOON AS HE/SHE HAS KNOWLEDGE OF THE DISCHARGE. THIS PERMIT DOES NOT AUTHORIZE THE DISCHARGE OF HAZARDOUS SUBSTANCES OR OIL RESULTING FROM AN ON-SITE SPILL.

DISCHARGES INTO, OR WITHIN ONE MILE UPSTREAM OF AND WITHIN THE SAME WATERSHED AS, ANY PORTION OF A BIOTA IMPAIRED STREAM SEGMENT. MANAGEMENT PRACTICES AND PERMIT VIOLATIONS.

BEST MANAGEMENT PRACTICES, AS SET FORTH IN THIS PERMIT, ARE REQUIRED FOR ALL CONSTRUCTION ACTIVITIES, AND MUST BE IMPLEMENTED IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS CONTAINED IN THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED TO PREVENT OR REDUCE THE POLLUTION OF WATERS OF GEORGIA. PROPER DESIGN. INSTALLATION, AND MAINTENANCE OF BEST MANAGEMENT PRACTICES SHALL CONSTITUTE A COMPLETE DEFENSE TO ANY ACTION BY THE DIRECTOR OR TO ANY OTHER ALLEGATION OF

NONCOMPLIANCE WITH PART III.D.3. AND PART III.D.4. EXCEPT AS REQUIRED TO INSTALL THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPS AS DESCRIBED IN PART IV.D.3., THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPS MUST BE INSTALLED AND IMPLEMENTED PRIOR TO CONDUCTING ANY OTHER CONSTRUCTION ACTIVITIES (E.G., CLEARING, GRUBBING AND GRADING) WITHIN THE CONSTRUCTION SITE OR WHEN APPLICABLE. WITHIN PHASED SUB-PARTS OR SEGMENTS OF THE CONSTRUCTION SITE. FAILURE TO COMPLY SHALL CONSTITUTE A VIOLATION OF THIS PERMIT FOR EACH DAY ON WHICH CONSTRUCTION ACTIVITIES OCCUR. THE DESIGN PROFESSIONAL WHO PREPARED THE PLAN MUST INSPECT THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPS IN ACCORDANCE WITH PART IV.A.5. WITHIN 7 DAYS AFTER INSTALLATION

 FAILURE TO PROPERLY DESIGN, INSTALL, OR MAINTAIN BEST MANAGEMENT PRACTICES SHALL CONSTITUTE A VIOLATION OF THIS PERMIT FOR EACH DAY ON WHICH SUCH FAILURE OCCURS. BMP MAINTENANCE AS A RESULT OF THE PERMITTEE'S ROUTINE INSPECTIONS SHALL NOT BE CONSIDERED A VIOLATION FOR THE PURPOSES OF THIS PARAGRAPH. IF DURING THE COURSE OF THE PERMITTEES ROUTINE INSPECTION BMP FAILURES ARE OBSERVED WHICH HAVE RESULTED IN SEDIMENT DEPOSITION INTO WATERS OF THE STATE, THE PERMITTEE SHALL CORRECT THE BMP FAILURES AND SHALL SUBMIT A SUMMARY OF THE VIOLATIONS TO EPD IN ACCORDANCE WITH PART V.A.2. OF THIS PERMIT. 4. A DISCHARGE OF STORM WATER RUNOFF FROM DISTURBED AREAS WHERE BEST MANAGEMENT

PRACTICES HAVE NOT BEEN PROPERLY DESIGNED, INSTALLED, AND MAINTAINED SHALL CONSTITUTE A SEPARATE VIOLATION FOR EACH DAY ON WHICH SUCH DISCHARGE RESULTS IN THE TURBIDITY OF RECEIVING WATER(S) BEING INCREASED BY MORE THAN TEN (10) NEPHELOMETRIC TURBIDITY UNITS FOR WATERS CLASSIFIED AS TROUT STREAMS OR MORE HAN TWENTY-FIVE (25) NEPHELOMETRIC TURBIDITY UNITS FOR WATERS SUPPORTING WARM WATER FISHERIES, REGARDLESS OF A PERMITTEE'S CERTIFICATION UNDER PART II.B.1.I. THIS PARAGRAPH SHALL NOT APPLY TO ANY LAND DISTURBANCE ASSOCIATED WITH THE CONSTRUCTION OF SINGLE-FAMILY HOMES WHICH ARE NOT PART OF A SUBDIVISION OR PLANNED COMMON DEVELOPMENT UNLESS FIVE (5) ACRES OR MORE WILL BE DISTURBEI 4. WHEN THE PERMITTEE HAS ELECTED TO MONITOR OUTFALL(S), THE DISCHARGE OF STORM

WATER RUNOFF FROM DISTURBED AREAS WHERE BEST MANAGEMENT PRACTICES HAVE NOTBEEN PROPERLY DESIGNED, INSTALLED, AND MAINTAINED SHALL CONSTITUTE A SEPARATE VIOLATION FOR EACH DAY ON WHICH SUCH CONDITION RESULTS IN THE TURBIDITY OF THE DISCHARGE EXCEEDING THE VALUE SELECTED FROM APPENDIX B APPLICABLE TO THE CONSTRUCTION SITE. AS SET FORTH THEREIN, THE NEPHELOMETRIC TURBIDITY UNIT (NTU) VALUE SHALL BE SELECTED FROM APPENDIX B BASED UPON THE SIZE OF THE CONSTRUCTION SITE, THE SURFACE WATER DRAINAGE AREA AND WHETHER THE RECEIVING WATER(S) SUPPORTS WARM WATER FISHERIES OR IS A TROUT STREAM AS INDICATED IN THE RULES AND REGULATIONS FOR WATER QUALITY CONTROL, CHAPTER 391-3-6 AT WWW.GAEPD.ORG.

N.P.D.E.S. N.T.U. APPENDIX B VALUES

SIZE OF SITE: 25.01-50 ACRES SURFACE WATER DRAINAGE AREA: 0-4.99 SQUARE MILES TYPE OF RECEIVING WATERS: WARM WATER NTU VALUE: 50

> WARM WATER (SUPPORTING WARM WATER FISHERIES) SURFACE WATER DRAINAGE AREA, SQUARE MILES

		0-4.99	5-9.99	10-24.99	25-49.99	50-99.99	100-249.99	250-499.99	500+
	1.00-10	75	150	200	400	750	750	750	750
	10.01-25	50	100	100	200	300	500	750	750
SITE SIZE, ACRES	25.01-50	50	50	100	100	200	300	750	750
	50.01-100	50	50	50	100	100	150	300	600
	100.01+	50	50	50	50	50	100	200	100

TO USE THESE TABLES. SELECT THE SIZE (ACRES) OF THE CONSTRUCTION SITE. THEN, SELECT THE SURFACE WATER DRAINAGE AREA (SQUARE MILES). THE NTU MATRIX VALUE ARRIVED AT FROM THE ABOVE TABLE IS THE ONE USED IN PART III.D.4

DESIGN PROFESSIONAL 7-DAY VISIT

DATE OF INSPECTION ———

THE INITIAL BMPS HAVE BEEN INSTALLED AND ARE BEING MAINTAINED AS DESIGNED

INSPECTION REVEALED THE FOLLOWING DISCREPANCIES FROM THE ES&PC PLAN.

THESE DEFICIENCIES MUST BE ADDRESSED WITHIN TWO (2) BUSINESS DAYS AS REQUIRED IN THE NPDES GENERAL PERMIT NO. GAR 100001

GSWCC LEVEL II DESIGN PROFESSIONAL CERTIFICATION #

DESIGN PROFESSIONAL'S CERTIFICATION

I CERTIFY THAT THE PERMITTEE'S EROSION. SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORMWATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED. TO MEET THE REQUIREMENTS CONTAINED IN THEGENERAL NPDES PERMIT NO. GAR100001."

I CERTIFY LINDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION.

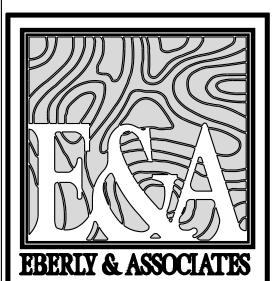
ISSUED: 01/22/2021

BEFORE YOU DIG.

WESLEY S. REED LEVEL II CERTIFIED DESIGN PROFESSIONAL CERTIFICATION NUMBER 0000073044

EXPIRES: 01/22/2024 FREE THROUGHOUT THE U.S.A. THREE WORKING DAYS





TEL770,452,7849 FAX770.452.0086 12951 FLOWERS ROAD SOUTH. STE 1 ATLANTA, GEORGIA 30341 WWW.EBERLY.NET

> LAND PLANNING CIVIL ENGINEERING LANDSCAPE ARCHITECTURE



REVISIONS:

05/20/2022 CONCEPT REVISION 1 06/23/2022 FULTON COUNTY SUB

08/05/2022 FULTON HEALTH DEPT 09/23/2022 CONCEPT REVISION 2 10/07/2022 CONCEPT REVISION 3

PROJECT NO.

22-010

SHEET NO.

EC1.0

2. STREAM CROSSINGS FOR WATER LINES AND SEWER LINES, PROVIDED THAT THE STREAM CROSSINGS OCCUR AT AN ANGLE. AS MEASURED FROM THE POINT OF CROSSING. WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOTMORE THAN 50 FEET WITHIN THE BUFFER, AND NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER

4. BUFFER CROSSING FOR FENCES, PROVIDED THAT THE CROSSINGS OCCUR AT AN ANGLE, AS

MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER, AND NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER 5. STREAM CROSSINGS FOR AERIAL UTILITY LINES, PROVIDED THAT: (A) THE NEW UTILITY LINE RIGHT-OF-WAY WIDTH DOES NOT EXCEED 100 LINEAR FEET, (B) UTILITY LINES ARE ROUTED AND CONSTRUCTED SO AS TO MINIMIZE THE NUMBER OF STREAM CROSSINGS AND DISTURBANCES TO THE BUFFER. (C) ONLY TREES AND TREE DEBRIS ARE REMOVED FROM WITHIN THE BUFFER RESULTING IN ONLY

MINOR SOIL EROSION (I.E., DISTURBANCE TO UNDERLYING VEGETATION IS MINIMIZED), AND (D) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER. THE PLAN SHALL INCLUDE A DESCRIPTION OF THE STREAM CROSSINGS WITH DETAILS OF THE BUFFER DISTURBANCE INCLUDING AREA AND LENGTH OF BUFFER DISTURBANCE, ESTIMATED LENGTH OF TIME OF BUFFER DISTURBANCE AND JUSTIFICATION: ii. NO CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED WITHIN A 50 FOOT BUFFER, AS MEASURED

HORIZONTALLY FROM THE POINT WHERE VEGETATION HAS BEEN WRESTED BY NORMAL STREAM $\,$ FLOW OR WAVE ACTION, ALONG THE BANKS OF ANY STATE WATERS CLASSIFIED AS 'TROUTSTREAMS' EXCEPT WHEN APPROVAL IS GRANTED BY THE DIRECTOR FOR ALTERNATE BLIEFER REQUIREMENTS IN ACCORDANCE WITH THE PROVISIONS OF O.C.G.A. 12-7-6, OR WHERE A ROADWAY DRAINAGE STRUCTURE MUST BE CONSTRUCTED; PROVIDED, HOWEVER, THAT SMALL SPRINGS AND STREAMS CLASSIFIED AS 'TROUT STREAMS' WHICH DISCHARGE AN AVERAGE ANNUAL FLOW OF 25 GALLONS PER MINUTE OR LESS SHALL HAVE A 25 FOOT BUFFER OR THEY MAY BE PIPED, AT THE DISCRETION OF THE PERMITTEE, PURSUANT TO THE TERMS OF A RULE PROVIDING FOR A GENERAL VARIANCE PROMULGATED BY THE BOARD OF NATURAL RESOURCES INCLUDING NOTIFICATION OF SUCH TO EPD AND THE LOCAL ISSUING AUTHORITY OF THE LOCATION AND EXTENT OF THE PIPING AND PRESCRIBED METHODOLOGY FOR MINIMIZING THE IMPACT OF SUCH PIPING AND FOR MEASURING THE VOLUME OF WATER DISCHARGED BY THESTREAM. ANY SUCH PIPE MUST STOP SHORT OF THE DOWNSTREAM PERMITTEE'S PROPERTY, AND THE PERMITTEE MUST COMPLY WITH THE BUFFER REQUIREMENT FOR ANY ADJACENT TROUT STREAMS. THE BUFFER SHALL NOT APPLY TO THE FOLLOWING ACTIVITIES PROVIDED THAT ADEQUATE EROSION CONTROL MEASURES ARE INCORPORATED INTO THE PROJECT PLANS AND SPECIFICATIONS ARE IMPLEMENTED:

PUBLIC DRINKING WATER SYSTEM RESERVOIRS 2. STREAM CROSSINGS FOR WATER LINES AND SEWER LINES, PROVIDED THAT THE STREAM CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOTMORE THAN 50 FEET WITHIN THE BUFFER, AND NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER

4. BUFFER CROSSING FOR FENCES, PROVIDED THAT THE CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER. AND NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE

5. STREAM CROSSINGS FOR AERIAL UTILITY LINES, PROVIDED THAT: (A) THE NEW UTILITY LINE

RIGHT-OF-WAY WIDTH DOES NOT EXCEED 100 LINEAR FEET, (B) UTILITY LINES ARE ROUTED AND CONSTRUCTED SO AS TO MINIMIZE THE NUMBER OF STREAM CROSSINGS AND DISTURBANCES TO THE BUFFER. (C) ONLY TREES AND TREE DEBRIS ARE REMOVED FROM WITHIN THE BUFFER RESULTING IN ONLY MINOR SOIL EROSION (I.E., DISTURBANCE TO UNDERLYING VEGETATION IS MINIMIZED), AND (D) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER. THE PLAN SHALL INCLUDE A DESCRIPTION OF THE STREAM CROSSINGS WITH DETAILS OF THE BUFFER. DISTURBANCE INCLUDING AREA AND LENGTH OF BUFFER DISTURBANCE, ESTIMATED LENGTH OF TIME OF BUFFER DISTURBANCE, AND JUSTIFICATION; AND iii. EXCEPT AS PROVIDED ABOVE, FOR BUFFERS REQUIRED PURSUANT TO PART IV.(I). AND (II)., NO

CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED WITHIN A BUFFER AND A BUFFER SHALL REMAIN IN ITS NATURAL, UNDISTURBED, STATE OF VEGETATION UNTIL ALL LAND DISTURBING ACTIVITIES ON THE CONSTRUCTION SITE ARE COMPLETED. DURING COVERAGE UNDER THIS PERMIT, A BUFFER CANNOT BE THINNED OR TRIMMED OF VEGETATION AND A PROTECTIVE VEGETATIVE COVER MUST REMAIN TO PROTECT WATER QUALITY AND AQUATIC HABITAT AND A NATURAL CANOPY MUST BE LEFT IN SUFFICIENT QUANTITY TO KEEP SHADE ON THE STREAM BED.

THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN SHALL IDENTIFY ALL POTENTIAL SOURCES OF POLLUTION WHICH MAY REASONABLY BE EXPECTED TO AFFECT THE QUALITY OF STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE IN ADDITION. THE PLAN SHALL DESCRIBE AND THE APPLICABLE PERMITTEE SHALL ENSURE THE IMPLEMENTATION OF PRACTICES WHICH WILL BE USED TO REDUCE THE POLLUTANTS IN STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY AT THE SITE AND TO ASSURE COMPLIANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT. THE APPLICABLE PERMITTEE MUST IMPLEMENT AND MAINTAIN THE PROVISIONS OF THE PLAN REQUIRED UNDER THIS PART AS A CONDITION OF THIS PERMIT

EXCEPT AS PROVIDED IN PART IV.A.2., A SINGLE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN MUST BE PREPARED BY THE PRIMARY PERMITTEE FOR THE STAND ALONE CONSTRUCTION PROJECT.

A DEADLINES FOR PLAN PREPARATION AND COMPLIANCE 5. FOR STAND ALONE PROJECTS THAT BEGIN CONSTRUCTION ACTIVITY AFTER THE EFFECTIVE DATE OF THIS PERMIT, THE PRIMARY PERMITTEE MUST RETAIN THE DESIGN PROFESSIONAL WHO PREPARED THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, EXCEPT WHEN THE PRIMARY PERMITTEE HAS REQUESTED IN WRITING AND EPD HAS AGREED TO AN ALTERNATE DESIGN PROFESSIONAL. TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPS WHICH THE DESIGN PROFESSIONAL DESIGNED WITHIN SEVEN (7) DAYS AFTER INSTALLATION. THE DESIGN PROFESSIONAL SHALL DETERMINE IF THESE BMPS HAVE BEEN INSTALLED AND ARE BEING MAINTAINED AS DESIGNED. THE DESIGN PROFESSIONAL SHALL REPORT THE RESULTS OF THE INSPECTION TO THE PRIMARY PERMITTEE WITHIN SEVEN (7) DAYS AND THE PERMITTEE MUST CORRECT ALL DEFICIENCIES WITHIN TWO (2) BUSINESS DAYS OF RECEIPT OF THE INSPECTION REPORT

6. FOR STORM- OR EMERGENCY-RELATED REPAIR WORK, THE PERMITTEE SHALL IMPLEMENT APPROPRIATE BMPS AND CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES RAINFALL OR GREATER, IF THE STORM- OR EMERGENCY-RELATED REPAIR WORK WILL NOT BE COMPLETED WITHIN SIXTY (60) DAYS OF COMMENCEMENT OF CONSTRUCTION ACTIVITY, A SINGLE COPY OF THE PLAN SHALL BE SUBMITTED TO EPD AND THE PERMITTEE SHALL COMPLY WITH ALL REQUIREMENTS OF THIS PERMIT ON THE SIXTY-FIRST (61ST) DAY

FROM THE DESIGN PROFESSIONAL UNLESS WEATHER RELATED SITE CONDITIONS ARE SUCH THAT

CHANGE IN DESIGN. CONSTRUCTION. OPERATION. OR MAINTENANCE. WHICH HAS A SIGNIFICANT EFFECT ON BMPS WITH A HYDRAULIC COMPONENT (I.E., THOSE BMPS WHERE THE DESIGN IS BASED UPON RAINFALL INTENSITY, DURATION AND RETURN FREQUENCY OF STORMS) OR IF THE PLAN PROVES TO BE INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING POLLUTANTS FROM SOURCES IDENTIFIED UNDER PART IV.D.3. AMENDMENTS TO THE PLAN MUST BE CERTIFIED BY A DESIGN PROFESSIONAL AS PROVIDED IN THIS PERMIT.

C. KEEPING PLANS CURRENT. THE PRIMARY PERMITTEE(S) SHALL AMEND THEIR PLAN WHENEVER THERE IS A

LOCATE WASTE COLLECTION AREAS AWAY FROM STREETS, GUTTERS, WATERCOURSES AND STORM DRAINS. WASTE COLLECTION AREAS, SUCH AS DUMPSTERS, ARE OFTEN BEST LOCATED NEAR CONSTRUCTION SITE ENTRANCES TO MINIMIZE TRAFFIC ON DISTURBED SOILS. THE PLAN SHOULD INCLUDE SECONDARY CONTAINMENT AROUND LIQUID WASTE COLLECTION AREAS TO FURTHER MINIMIZE THE LIKELIHOOD OF CONTAMINATED DISCHARGES, SOLID MATERIALS, INCLUDING BUILDING MATERIALS. SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT 2. OFF-SITE VEHICLE TRACKING OF DIRT, SOILS, AND SEDIMENTS AND THE GENERATION OF DUST SHALL BE MINIMIZED OR ELIMINATED TO THE MAXIMUM EXTENT PRACTICAL. THE PLAN SHALL INCLUDE THE BEST MANAGEMENT PRACTICE TO BE IMPLEMENTED AT THE SITE OR CONSTRUCTION ACTIVITY.

APPLICABLE STATE AND LOCAL WASTE DISPOSAL, SANITARY SEWER OR SEPTIC SYSTEM 4. THE PLAN SHALL INCLUDE BEST MANAGEMENT PRACTICES FOR THE REMEDIATION OF ALL

3. ALL PERMITTEES SHALL ENSURE AND DEMONSTRATE THAT THEIR PLAN IS IN COMPLIANCE WITH

PETROLEUM SPILLS AND LEAKS AS APPROPRIATE 5. THE PLAN SHALL INCLUDE BEST MANAGEMENT PRACTICES FOR CONCRETE WASHDOWN OF TOOLS. CONCRETE MIXER CHUTES, HOPPERS AND THE REAR OF VEHICLES. WASHOUT OF THE DRUM AT THE

CONSTRUCTION SITE IS PROHIBITED. ADDITIONAL INFORMATION ABOUT BEST MANAGEMENT PRACTICES FOR CONCRETE WASHOUT IS AVAILABLE AT WWW FPA GOV/NPDES/PUBS/CONCRETEWASHOUT PDF ALL PERMITTEES ARE REQUIRED TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING TRENCHES AND EXCAVATIONS. DISCHARGES ARE PROHIBITED UNLESS MANAGED BY APPROPRIATE

D.4. INSPECTIONS. PERMITTEE REQUIREMENTS

ADDITIONAL TIME IS REQUIRED

EACH DAY WHEN ANY TYPE OF CONSTRUCTION ACTIVITY HAS TAKEN PLACE AT A PRIMARY PERMITTEE'S SITE, CERTIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE SHALL INSPECT: (A) ALL AREAS AT THE PRIMARY PERMITTEE'S SITE WHERE PETROLEUM PRODUCTS ARE STORED, USED, OR HANDLED FOR SPILLS AND LEAKS FROM VEHICLES AND EQUIPMENT AND (B) ALL LOCATIONS AT THE PRIMARY PERMITTEE'S SITE WHERE VEHICLES ENTER OR EXIT THE SITE FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING. THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED. 2. MEASURE AND RECORD RAINFALL WITHIN DISTURBED AREAS OF THE SITE THAT HAVE NOT MET FINAL

STABILIZATION ONCE EVERY 24 HOURS EXCEPT ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY AND NON-WORKING FEDERAL HOLIDAY. THE DATA COLLECTED FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRESENTATIVE OF THE MONITORED ACTIVITY. MEASUREMENT OF RAINFALL MAY BE SUSPENDED IF ALL AREAS OF THE SITE HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION. 3. CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT THE FOLLOWING AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES

RAINFALL OR GREATER (UNLESS SUCH STORM ENDS AFTER 5:00 PM ON ANY FRIDAY OR ON ANY ON-WORKING SATURDAY, NON-WORKING SUNDAY OR ANY NON-WORKING FEDERAL HOLIDAY IN WHICH CASE THE INSPECTION SHALL BE COMPLETED BY THE END OF THE NEXT BUSINESS DAY AND/OR WORKING DAY WHICHEVER OCCURS FIRST): (A) DISTURBED AREAS OF THE PRIMARY PERMITTEE'S CONSTRUCTION SITE; (B) AREAS USED BY THE PRIMARY PERMITTEE FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION: AND (C) STRUCTURAL CONTROL MEASURES, EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN APPLICABLE TO THE PRIMARY PERMITTEE'S SITE SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE. THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S). FOR AREAS OF A SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET

PERENNIALS APPROPRIATE FOR THE REGION. THE PERMITTEE MUST COMPLY WITH PART IV.D.4.A.(4). THESE

INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED. 4. CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT AT LEAST ONCE PER MONTH DURING THE TERM OF THIS PERMIT (LE. LINTIL A NOTICE OF TERMINATION HAS BEEN SUBMITTED) THE AREAS OF THE SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION. THESE AREAS SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM AND THE RECEIVING WATER(S). EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATION OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL

MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S). BASED ON THE RESULTS OF EACH INSPECTION. THE SITE DESCRIPTION AND THE POLLUTION PREVENTION AND CONTROL MEASURES IDENTIFIED IN THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN. THE PLAN SHALL BE REVISED AS APPROPRIATE NOT LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION. IMPLEMENTATION OF SUCH CHANGES SHALL BE MADE AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION.

6. A REPORT OF EACH INSPECTION THAT INCLUDES THE NAME(S) OF CERTIFIED PERSONNEL MAKING EACH INSPECTION THE DATE(S) OF EACH INSPECTION CONSTRUCTION PHASE (LE. INITIAL INTERMEDIATE OR FINAL), MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH PART IV.D.4.A.(5). OF THE PERMIT SHALL BE MADE AND RETAINED AT THE SITE OR BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION UNTIL THE ENTIRE SITE OR THAT PORTION OF A CONSTRUCTION SITE THAT HAS BEEN PHASED HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION IS SUBMITTED TO EPD. SUCH REPORTS SHALL BE READILY AVAILABLE BY END OF THE SECOND BUSINESS DAY AND/OR WORKING DAY AND SHALL IDENTIFY ALL INCIDENTS OF BEST MANAGEMENT PRACTICES THAT HAVE

NOT BEEN PROPERLY INSTALLED AND/OR MAINTAINED AS DESCRIBED IN THE PLAN, WHERE THE REPORT DOES NOT IDENTIFY ANY INCIDENTS. THE INSPECTION REPORT SHALL CONTAIN A CERTIFICATION THAT THE

BEST MANAGEMENT PRACTICES ARE IN COMPLIANCE WITH THE EROSION,

D.5. MAINTENANCE. THE PLAN SHALL INCLUDE A DESCRIPTION OF PROCEDURES TO ENSURE THE TIMELY MAINTENANCE OF VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES AND OTHER

A SAMPLING REQUIREMENTS SHALL INCLUDE THE FOLLOWING:

PROTECTIVE MEASURES IDENTIFIED IN THE SITE PLAN. D.6. SAMPLING REQUIREMENTS. THIS PERMIT REQUIRES THE MONITORING OF NEPHELOMETRIC TURBIDITY IN RECEIVING WATER(S) OR OUTFALLS IN ACCORDANCE WITH THIS PERMIT. THIS PARAGRAPH SHALL NOT APPLY TO ANY LAND DISTURBANCE ASSOCIATED WITH THE CONSTRUCTION OF SINGLE-FAMILY HOMES WHICH ARE NOT PART OF A SUBDIVISION OR PLANNED COMMON DEVELOPMENT UNLESS FIVE (5) ACRES OR MORE WILL BE DISTURBED. THE FOLLOWING PROCEDURES CONSTITUTE EPD'S GUIDELINES FOR SAMPLING

A USGS TOPOGRAPHIC MAP, A TOPOGRAPHIC MAP OR A DRAWING (REFERRED TO AS A TOPOGRAPHIC MAP) THAT IS A SCALE EQUAL TO OR MORE DETAILED THAN A 1:24000 MAP SHOWING THE LOCATION OF THE SITE OR THE STAND ALONE CONSTRUCTION; (A) THE LOCATION OF ALL PERENNIAL AND INTERMITTENT STREAMS AND OTHER WATER BODIES AS SHOWN ON A USGS TOPOGRAPHIC MAP, AND ALL OTHER PERENNIAL AND INTERMITTENT STREAMS AND OTHER WATER BODIES LOCATED DURING MANDATORY FIELD VERIFICATION, INTO WHICH THE STORM WATER IS DISCHARGED AND (B) THE RECEIVING WATER AND/OR OUTFALL SAMPLING LOCATIONS. WHEN THE PERMITTEE HAS CHOSEN TO USE A USGS TOPOGRAPHIC MAP AND THE RECEIVING WATER(S) IS NOT SHOWN ON THE USGS TOPOGRAPHIC MAP. THE LOCATION OF THE RECEIVING WATER(S) MUST BE HAND-DRAWN ON THE USGS TOPOGRAPHIC MAP FROM WHERE THE STORM

WATER(S) ENTERS THE RECEIVING WATER(S) TO THE POINT WHERE THE RECEIVING WATER(S) COMBINES WITH THE FIRST BLUE LINE STREAM SHOWN ON THE USGS TOPOGRAPHIC MAP; A WRITTEN NARRATIVE OF SITE SPECIFIC ANALYTICAL METHODS USED TO COLLECT, HANDLE AND ANALYZE THE SAMPLES INCLUDING QUALITY CONTROL/QUALITY ASSURANCE PROCEDURES. THIS NARRATIVE MUST INCLUDE PRECISE SAMPLING METHODOLOGY FOR EACH SAMPLING LOCATION; WHEN THE PERMITTEE HAS DETERMINED THAT SOME OR ALL OUTFALLS WILL BE MONITORED, A RATIONALE MUST BE INCLUDED FOR THE NTU LIMIT(S) SELECTED FROM APPENDIX B. THIS RATIONALE MUST INCLUDE

AREA, AND THE TYPE OF RECEIVING WATER(S) (I.E., TROUT STREAM OR SUPPORTING WARM WATER

THE SIZE OF THE CONSTRUCTION SITE, THE CALCULATION OF THE SIZE OF THE SURFACE WATER DRAINAGE

ANY ADDITIONAL INFORMATION EPD DETERMINES NECESSARY TO BE PART OF THE PLAN. EPD WILL PROVIDE WRITTEN NOTICE TO THE PERMITTEE OF THE INFORMATION NECESSARY AND THE TIME LINE FOR SAMPLE TYPE. ALL SAMPLING SHALL BE COLLECTED BY "GRAB SAMPLES" AND THE ANALYSIS OF THESE SAMPLES MUST BE CONDUCTED IN ACCORDANCE WITH METHODOLOGY AND TEST PROCEDURES ESTABLISHED BY 40 CFR PART 136 (UNLESS OTHER TEST PROCEDURES HAVE BEEN APPROVED); THE GUIDANCE DOCUMENT TITLED "NPDES STORM WATER SAMPLING GUIDANCE DOCUMENT, EPA 833-B-92-001" AND GUIDANCE DOCUMENTS THAT MAY BE PREPARED BY THE EPD.

SAMPLE CONTAINERS SHOULD BE LABELED PRIOR TO COLLECTING THE SAMPLES. SAMPLES SHOULD BE WELL MIXED BEFORE TRANSFERRING TO A SECONDARY CONTAINER. LARGE MOUTH. WELL CLEANED AND RINSED GLASS OR PLASTIC JARS SHOULD BE USED FOR COLLECTING SAMPLES. THE JARS SHOULD BE CLEANED THOROUGHLY TO AVOID CONTAMINATION. MANUAL, AUTOMATIC OR RISING STAGE SAMPLING MAY BE UTILIZED. SAMPLES REQUIRED BY THIS PERMIT SHOULD BE ANALYZED IMMEDIATELY, BUT IN NO CASE LATER THAN 48 HOURS AFTER COLLECTION. HOWEVER, SAMPLES FROM AUTOMATIC SAMPLERS MUST BE COLLECTED NO LATER THAN THE NEXT BUSINESS DAY AFTER THEIR ACCUMULATION, UNLESS FLOW THROUGH AUTOMATED ANALYSIS IS UTILIZED. IF AUTOMATIC SAMPLING IS UTILIZED AND THE AUTOMATIC SAMPLER IS NOT ACTIVATED DURING THE QUALIFYING EVENT, THE PERMTITEE MUST UTILIZE MANUAL SAMPLING OR RISING STAGE SAMPLING DURING THE NEXT QUALIFYING EVENT, DILUTION OF SAMPLES IS NOT REQUIRED, SAMPLES MAY BE ANALYZED DIRECTLY WITH A PROPERLY CALIBRATED TURBIDIMETER. SAMPLES ARE NOT REQUIRED TO BE $\;\;$ COOLED

SAMPLING AND ANALYSIS OF THE RECEIVING WATER(S) OR OUTFALLS BEYOND THE MINIMUM FREQUENCY

1. FOR CONSTRUCTION ACTIVITIES THE PRIMARY PERMITTEE MUST SAMPLE ALL RECEIVING WATER(S), OR ALL OUTFALL(S), OR A COMBINATION OF RECEIVING WATER(S) AND OUTFALL(S). SAMPLES TAKEN FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRESENTATIVE OF THE MONITORED ACTIVITY AND REPRESENTATIVE OF THE WATER QUALITY OF THE RECEIVING WATER(S) AND/OR THE STORM WATER OUTFALLS USING THE FOLLOWING

STATED IN THIS PERMIT MUST BE REPORTED TO EPD AS SPECIFIED IN PART IV.E.

a. THE UPSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN IMMEDIATELY UPSTREAM OF THE CONFLUENCE OF THE FIRST STORM WATER DISCHARGE FROM THE PERMITTED ACTIVITY (I.E., THE DISCHARGE FARTHEST UPSTREAM AT THE SITE) BUT DOWNSTREAM OF ANY OTHER STORM WATER DISCHARGES NOT ASSOCIATED WITH THE PERMITTED ACTIVITY. WHERE APPROPRIATE, SEVERAL UPSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE UPSTREAM TURBIDITY VALUE. b. THE DOWNSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN DOWNSTREAM OF THE CONFLUENCE OF THE LAST STORM WATER DISCHARGE FROM THE PERMITTED ACTIVITY (I.E., THE DISCHARGE FARTHEST DOWNSTREAM AT THE SITE) BUT UPSTREAM OF ANY OTHER STORM WATER DISCHARGE NOT ASSOCIATED WITH THE PERMITTED ACTIVITY. WHERE APPROPRIATE, SEVERAL DOWNSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE

c. IDEALLY THE SAMPLES SHOULD BE TAKEN FROM THE HORIZONTAL AND VERTICAL CENTER OF THE RECEIVING WATER(S) OR THE STORM WATER OUTFALL CHANNEL(S). d. CARE SHOULD BE TAKEN TO AVOID STIRRING THE BOTTOM SEDIMENTS IN THE RECEIVING WATER(S) OR IN THE OUTFALL STORM WATER CHANNEL e. THE SAMPLING CONTAINER SHOULD BE HELD SO THAT THE OPENING FACES UPSTREAM.

f. THE SAMPLES SHOULD BE KEPT FREE FROM FLOATING DEBRIS.

DOWNSTREAM TURBIDITY VALUE

TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE

q. PERMITTEES DO NOT HAVE TO SAMPLE SHEET FLOW THAT FLOWS ONTO UNDISTURBED NATURAL AREAS OR AREAS STABILIZED BY THE PROJECT. FOR PURPOSES OF THIS SECTION. STABILIZED SHALL MEAN, FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES AND AREAS LOCATED OUTSIDE THE WASTE DISPOSAL LIMITS OF A LANDFILL CELL THAT HAS BEEN CERTIFIED BY EPD FOR WASTE DISPOSAL, 100% OF THE SOIL SURFACE IS UNIFORMLY COVERED IN PERMANENT VEGETATION WITH A DENSITY OF 70% OR GREATER, OR LANDSCAPED ACCORDING TO THE PLAN (UNIFORMLY COVERED WITH LANDSCAPING MATERIALS IN PLANNED LANDSCAPED AREAS), OR EQUIVALENT PERMANENT STABILIZATION MEASURES AS DEFINED IN THE MANUAL (EXCLUDING A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET CROP PERENNIALS APPROPRIATE FOR THE REGION. h. ALL SAMPLING PURSUANT TO THIS PERMIT MUST BE DONE IN SUCH A WAY (INCLUDING

GENERALLY ACCEPTED SAMPLING METHODS, LOCATIONS, TIMING, AND FREQUENCY) AS TO ACCURATELY REFLECT WHETHER STORM WATER RUNOFF FROM THE CONSTRUCTION SITE IS IN COMPLIANCE WITH THE STANDARD SET FORTH IN PARTS III.D.3. OR III.D.4.., WHICHEVER IS APPLICABLE.

SAMPLING FREQUENCY. THE PRIMARY PERMITTEE MUST SAMPLE IN ACCORDANCE WITH THE PLAN AT LEAST ONCE FOR EACH RAINFALL EVENT DESCRIBED BELOW. FOR A QUALIFYING EVENT, SAMPLES MUST BE TAKEN WITHIN FORTY-FIVE (45) MINUTES OR AS SOON AS POSSIBLE. 2. HOWEVER, WHERE MANUAL AND AUTOMATIC SAMPLING ARE IMPOSSIBLE (AS DEFINED IN THIS PERMIT), OR ARE BEYOND THE PERMITTEE'S CONTROL, THE PERMITTEE SHALL TAKE SAMPLES AS SOON AS POSSIBLE, BUT IN NO CASE MORE THAN TWELVE (12) HOURS AFTER THE BEGINNING OF THE STORM WATER DISCHARGE.

3. SAMPLING BY THE PERMITTEE SHALL OCCUR FOR THE FOLLOWING EVENTS: a. FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING STREAM, THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH AND ALLOWS FOR MONITORING DURING NORMAL BUSINESS HOURS AS DEFINED IN THIS PERMIT AFTER ALL CLEARING AND GRUBBING OPERATIONS HAVE BEEN COMPLETED IN THE DRAINAGE AREA OF THE LOCATION SELECTED AS THE SAMPLING

b. IN ADDITION TO (a) ABOVE, FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING STREAM, THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH AND ALLOWS FOR MONITORING DURING NORMAL BUSINESS HOURS AS DEFINED IN THIS PERMIT THAT OCCURS EITHER 90 DAYS AFTER THE FIRST SAMPLING EVENT OR AFTER ALL MASS GRADING OPERATIONS HAVE BEEN COMPLETED IN THE DRAINAGE AREA OF THE LOCATION SELECTED AS THE SAMPLING LOCATION, WHICHEVER COMES FIRST;

c. AT THE TIME OF SAMPLING PERFORMED PURSUANT TO (a) AND (b) ABOVE, IF BMPS ARE FOUND TO BE PROPERLY DESIGNED, INSTALLED AND MAINTAINED, NO FURTHER ACTION IS REQUIRED. IF BMPS IN ANY AREA OF THE SITE THAT DISCHARGES TO A RECEIVING STREAM ARE NOT PROPERLY DESIGNED, INSTALLED AND MAINTAINED, CORRECTIVE ACTION SHALL BE DEFINED AND IMPLEMENTED WITHIN TWO (2) BUSINESS DAYS, AND TURBIDITY SAMPLES SHALL BE TAKEN FROM DISCHARGES FROM THAT AREA OF THE SITE FOR EACH SUBSEQUENT RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH DURING NORMAL BUSINESS HOURS* UNTIL THE SELECTED TURBIDITY STANDARD IS ATTAINED, OR UNTIL POST-STORM EVENT INSPECTIONS DETERMINE THAT BMPS ARE PROPERLY DESIGNED, INSTALLED AND MAINTAINED;

d. WHERE SAMPLING PURSUANT TO (a), (b) OR (c) ABOVE IS REQUIRED BUT NOT POSSIBLE (OR NOT REQUIRED BECAUSE THERE WAS NO DISCHARGE), THE PERMITTEE, IN ACCORDANCE WITH PART IV.D.A.a.(6), MUST BE INCLUDE A WRITTEN JUSTIFICATION IN THE INSPECTION REPORT OF WHY SAMPLING WAS NOT PERFORMED. PROVIDING THIS JUSTIFICATION DOES NOT RELIEVE THE PERMITEE OF ANY SUBSEQUENT SAMPLING OBLIGATIONS UNDER (a), (b) OR (c) ABOVE; AND e. EXISTING CONSTRUCTION ACTIVITIES, I.E., THOSE THAT ARE OCCURRING ON OR BEFORE THE EFFECTIVE DATE OF THIS PERMIT, THAT HAVE MET THE SAMPLING REQUIRED BY (a) ABOVE SHALL SAMPLE IN ACCORDANCE WITH (b). THOSE EXISTING CONSTRUCTION ACTIVITIES THAT HAVE MET THE SAMPLING REQUIRED BY (b) ABOVE SHALL NOT BE REQUIRED TO CONDUCT ADDITIONAL SAMPLING OTHER THAN AS REQUIRED BY (c) ABOVE.

*NOTE THAT THE PERMITTEE MAY CHOOSE TO MEET THE REQUIREMENTS OF (a) AND (b) ABOVE BY COLLECTING TURBIDITY SAMPLES FROM ANY RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH AND ALLOWS FOR MONITORING AT ANY TIME OF THE DAY OR WEEK. D.7. NON-STORM WATER DISCHARGES. EXCEPT FOR FLOWS FROM FIRE FIGHTING ACTIVITIES, SOURCES OF NON-STORM WATER LISTED IN PART III.A.2. OF THIS PERMIT THAT ARE COMBINED WITH STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY MUST BE IDENTIFIED IN THE PLAN. THE PLAN SHALL IDENTIFY AND ENSURE THE IMPLEMENTATION OF APPROPRIATE POLLUTION PREVENTION MEASURES FOR THE NON-STORM WATER COMPONENT(S) OF THE DISCHARGE.

31> E. REPORTING THE APPLICABLE PERMITTEES ARE REQUIRED TO SUBMIT A SUMMARY OF THE MONITORING RESULTS TO THE EPD AT THE ADDRESS SHOWN IN PART II.C. BY THE FIFTEENTH DAY OF THE MONTH FOLLOWING THE REPORTING PERIOD. REPORTING PERIODS ARE MONTHS DURING WHICH SAMPLES ARE TAKEN IN ACCORDANCE WITH THIS PERMIT. SAMPLING RESULTS SHALL BE IN A CLEARLY LEGIBLE FORMAT. UPON WRITTEN NOTIFICATION, EPD MAY REQUIRE THE APPLICABLE PERMITTEE TO SUBMIT THE SAMPLING RESULTS ON A MORE FREQUENT BASIS. SAMPLING AND ANALYSIS OF ANY STORM WATER DISCHARGE(S) OR THE RECEIVING WATER(S) BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED IN A SIMILAR MANNER TO THE EPD. THE SAMPLING REPORTS MUST BE SIGNED IN ACCORDANCE WITH PART V.G.2. SAMPLING REPORTS MUST BE SUBMITTED TO EPD USING THE ELECTRONIC SUBMITTAL SERVICE PROVIDED BY EPD. SAMPLING REPORTS MUST BE SUBMITTED TO EPD UNTIL SUCH TIME AS A N.O.T. IS SUBMITTED IN ACCORDANCE WITH PART VI.

1. ALL MONITORING RESULTS SHALL INCLUDE THE FOLLOWING INFORMATION: A. THE RAINFALL AMOUNT, DATE, EXACT PLACE, AND TIME OF SAMPLING OR MEASUREMENTS; B. THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE SAMPLING AND MEASUREMENTS C. THE DATE(S) ANALYSES WERE PERFORMED; D. THE TIME(S) ANALYSES WERE INITIATED

E. THE NAME(S) OF CERTIFIED PERSONNEL WHO PERFORMED THE ANALYSES; F. REFERENCES AND WRITTEN PROCEDURES, WHEN AVAILABLE, FOR THE ANALYTICAL TECHNIQUES OR METHODS USED: AND G. THE RESULTS OF SUCH ANALYSES, INCLUDING THE BENCH SHEETS, INSTRUMENT READOUTS, COMPUTER DISKS OR TAPES, ETC., USED TO DETERMINE THESE RESULTS. H. RESULTS WHICH EXCEED 1000 NTU SHALL BE REPORTED AS "EXCEEDS 1000 NTU;"

I. CERTIFICATION STATEMENT THAT SAMPLING WAS CONDUCTED AS PER THE PLAN

3. ALL WRITTEN CORRESPONDENCE REQUIRED BY THIS PERMIT SHALL BE SUBMITTED BY RETURN RECEIPT CERTIFIED MAIL (OR SIMILAR SERVICE) TO THE APPROPRIATE DISTRICT OFFICE OF THE EPD ACCORDING TO THE SCHEDULE IN APPENDIX A OF THIS PERMIT. THE PERMITTEE SHALL RETAIN A COPY OF THE PROOF OF SUBMITTAL AT THE CONSTRUCTION SITE OR THE PROOF OF SUBMITTAL SHALL BE READILY AVAILABLE AT A DESIGNATED LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI. IF AN ELECTRONIC SUBMITTAL IS PROVIDED BY EPD THEN THE WRITTEN CORRESPONDENCE MAY BE SUBMITTED ELECTRONICALLY; IF REQUIRED, A PAPER COPY MUST ALSO BE SUBMITTED BYRETURN RECEIPT CERTIFIED MAIL OR SIMILAR SERVICE.

RETENTION OF RECORDS.

F.1. THE PRIMARY PERMITTEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI: A. A COPY OF ALL NOTICES OF INTENT SUBMITTED TO EPD

B. A COPY OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN REQUIRED BY THIS PERMIT; C. THE DESIGN PROFESSIONAL'S REPORT OF THE RESULTS OF THE INSPECTION CONDUCTED IN ACCORDANCE WITH PART IV.A.5. OF THIS PERMIT: D. A COPY OF ALL SAMPLING. INFORMATION, RESULTS, AND REPORTS REQUIRED BY THIS PERMIT; E. A COPY OF ALL INSPECTION REPORTS GENERATED IN ACCORDANCE WITH PART IV.D.4.A. OF THIS PERMIT; F. A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART III.D.2. OF THIS PERMIT: AND G. DAILY RAINFALL INFORMATION COLLECTED IN ACCORDANCE WITH PART IV.D.4.A.(2). OF THIS PERMIT. F.2. COPIES OF ALL NOTICES OF INTENT, NOTICES OF TERMINATION, INSPECTION REPORTS, SAMPLING REPORTS

SEDIMENTATION AND POLLUTION CONTROL PLANS. RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT AND ALL OTHER RECORDS REQUIRED BY THIS PERMIT SHALL BE RETAINED BY THE PERMITTEE WHO EITHER PRODUCED OR USED IT FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE NOT IS SUBMITTED IN ACCORDANCE WITH PART VI OF THIS PERMIT. THESE RECORDS MUST BE MAINTAINED AT THE PERMITTEE'S PRIMARY PLACE OF BUSINESS OR AT A DESIGNATED ALTERNATIVE LOCATION ONCE THE CONSTRUCTION ACTIVITY HAS CEASED AT THE PERMITTED SITE. THIS PERIOD MAY BE EXTENDED BY REQUEST OF THE EPD AT ANY TIME UPON WRITTEN NOTIFICATION TO THE

(INCLUDING ALL CALIBRATION AND MAINTENANCE RECORDS AND ALL ORIGINAL STRIP CHART RECORDINGS

FOR CONTINUOUS MONITORING INSTRUMENTATION) OR OTHER REPORTS REQUESTED BY THE EPD. FROSION

PART V. STANDARD PERMIT CONDITIONS A DUTY TO COMPLY

 EACH PERMITTEE MUST COMPLY WITH ALL APPLICABLE CONDITIONS OF THIS PERMIT. ANY PERMIT. NONCOMPLIANCE CONSTITUTES A VIOLATION OF THE GEORGIA WATER QUALITY CONTROL ACT (O.C.G.A. §§12-5-20, ET SEQ.) AND IS GROUNDS FOR ENFORCEMENT ACTION; FOR PERMIT TERMINATION; OR FOR DENIAL OF A PERMIT RENÉWAL APPLICATION. FAILURE OF A PRIMARY PERMITTEE TO COMPLY WITH ANY APPLICABLE TERM OR CONDITION OF THIS PERMIT SHALL NOT RELIEVE ANY OTHER PRIMARY PERMITTEE FROM COMPLIANCE WITH THEIR APPLICABLE TERMS AND CONDITIONS OF THIS PERMIT. 2. EACH PERMITTEE MUST DOCUMENT IN THEIR RECORDS ANY AND ALL KNOWN VIOLATIONS OF THIS PERMIT AT

HIS/HER SITE WITHIN SEVEN (7) DAYS OF HIS/HER KNOWLEDGE OF THE VIOLATION. A SUMMARY OF THESE VIOLATIONS MUST BE SUBMITTED TO EPD BY THE PERMITTEE AT THE ADDRESSES SHOWN IN PART II.C. WITHIN FOURTEEN (14) DAYS OF HIS/HER DISCOVERY OF THE VIOLATION. 3. PENALTIES FOR VIOLATIONS OF PERMIT CONDITIONS. THE FEDERAL CLEAN WATER ACT AND THE GEORGIA WATER QUALITY CONTROL ACT (O.C.G.A. §§12-5-20, ET SEQ.) PROVIDE THAT ANY PERSON WHO FALSIFIES, TAMPERS WITH, OR KNOWINGLY RENDERS INACCURATE ANY MONITORING DEVICE OR METHOD REQUIRED TO

BE MAINTAINED UNDER THIS PERMIT MAKES ANY FAI SE STATEMENT, REPRESENTATION, OR CERTIFICATION IN

ANY RECORD OR OTHER DOCUMENT SUBMITTED OR REQUIRED TO BE MAINTAINED UNDER THIS PERMIT, INCLUDING MONITORING REPORTS OR REPORTS OF COMPLIANCE OR NONCOMPLIANCE SHALL, UPON CONVICTION BE PUNISHED BY A FINE OR BY IMPRISONMENT, OR BY BOTH, THE FEDERAL CLEAN WATER ACT AND THE GEORGIA WATER QUALITY CONTROL ACT ALSO PROVIDE PROCEDURES FOR IMPOSING CIVIL PENALTIES WHICH MAY BE LEVIED FOR VIOLATIONS OF THE ACTS, ANY PERMIT CONDITION OR LIMITATION ESTABLISHED PURSUANT TO THE ACTS, OR NEGLIGENTLY OR INTENTIONALLY FAILING OR REFUSING TO COMPLY WITH ANY FINAL OR EMERGENCY ORDER OF THE DIRECTOR. B. CONTINUATION OF THE EXPIRED GENERAL PERMIT. THIS PERMIT EXPIRES ON THE DATE SHOWN ON THE COVER PAGE OF THIS PERMIT. HOWEVER, AN EXPIRED GENERAL PERMIT CONTINUES IN FORCE AND EFFECT

UNTIL A NEW GENERAL PERMIT IS ISSUED, FINAL AND EFFECTIVE. CONSTRUCTION SITES THAT HAVE NOT OBTAINED COVERAGE UNDER THE PERMIT BY THE PERMIT EXPIRATION DATE CANNOT BECOME AUTHORIZED TO DISCHARGE UNDER THE CONTINUED PERMIT C. NEED TO HALT OR REDUCE ACTIVITY NOT A DEFENSE. IT SHALL NOT BE A DEFENSE FOR THE PERMITTEE IN AN ENFORCEMENT ACTION THAT IT WOULD HAVE BEEN NECESSARY TO HALT OR REDUCE THE PERMITTED ACTIVITY IN ORDER TO MAINTAIN COMPLIANCE WITH THE CONDITIONS OF THIS PERMIT. D. DUTY TO MITIGATE. THE PERMITTEE SHALL TAKE ALL REASONABLE STEPS TO MINIMIZE OR PREVENT ANY DISCHARGE IN VIOLATION OF THIS PERMIT WHICH HAS A REASONABLE LIKELIHOOD OF ADVERSELY AFFECTING

HUMAN HEALTH OR THE ENVIRONMENT. E. DUTY TO PROVIDE INFORMATION. THE PERMITTEE SHALL FURNISH TO THE DIRECTOR; A STATE OR LOCAL AGENCY APPROVING SOIL FROSION AND SEDIMENTATION CONTROL PLANS, GRADING PLANS, OR STORM WATER MANAGEMENT PLANS: OR IN THE CASE OF A STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY WHICH DISCHARGES THROUGH A MUNICIPAL SEPARATE STORM SEWER SYSTEM WITH AN NPDES PERMIT, TO THE LOCAL GOVERNMENT OPERATING THE MUNICIPAL SEPARATE STORM SEWER SYSTEM, ANY INFORMATION WHICH IS REQUESTED TO DETERMINE COMPLIANCE WITH THIS PERMIT. IN THE CASE OF INFORMATION SUBMITTED TO THE EPD SUCH INFORMATION SHALL BE CONSIDERED PUBLIC

INFORMATION AND AVAILABLE UNDER THE GEORGIA OPEN RECORDS ACT. F. OTHER INFORMATION. WHEN THE PERMITTEE BECOMES AWARE THAT HE FAILED TO SUBMIT AN RELEVANT FACTS OR SUBMITTED INCORRECT INFORMATION IN THE NOTICE OF INTENT OR IN ANY OTHER REPORT REQUIRED TO BE SUBMITTED TO THE EPD, THE PERMITTEE SHALL PROMPTLY SUBMIT SUCH FACTS OR G. SIGNATORY REQUIREMENTS. ALL NOTICES OF INTENT, NOTICE OF TERMINATIONS, INSPECTION REPORTS,

SAMPLING REPORTS OR OTHER REPORTS REQUESTED BY THE EPD SHALL BE SIGNED AS FOLLOWS: a FOR A CORPORATION: BY A RESPONSIBLE CORPORATE OFFICER FOR THE PURPOSE OF THIS PERMIT A RESPONSIBLE CORPORATE OFFICER MEANS: (1) A PRESIDENT, SECRETARY, TREASURER, OR VICE-PRESIDENT OF THE CORPORATION IN CHARGE OF A PRINCIPAL BUSINESS FUNCTION, OR ANY OTHER PERSON WHO PERFORMS SIMILAR POLICY- OR DECISION MAKING FUNCTIONS FOR THE CORPORATION: OR (2) THE MANAGER OF ONE OR MORE MANUFACTURING PRODUCTION OR OPERATING FACILITIES PROVIDED THE MANAGER IS AUTHORIZED TO MAKE MANAGEMENT DECISIONS WHICH GOVERN THE OPERATION OF THE REGULATED FACILITY INCLUDING HAVING THE EXPLICIT OR IMPLICIT DUTY OF MAKING MAJOR CAPITAL INVESTMEN RECOMMENDATIONS, AND INITIATING AND DIRECTING OTHER COMPREHENSIVE MEASURES TO ASSURE LONG TERM ENVIRONMENTAL COMPLIANCE WITH ENVIRONMENTAL LAWS AND REGULATIONS: THE MANAGER CAN ENSURE THE NECESSARY SYSTEMS ARE ESTABLISHED OR ACTIONS TAKEN TO GATHER COMPLETE AND

DOCUMENTS HAS BEEN ASSIGNED OR DELEGATED TO THE MANAGER IN ACCORDANCE WITH CORPORATE b. FOR A PARTNERSHIP OR SOLE PROPRIETORSHIP: BY A GENERAL PARTNER OR THE PROPRIETOR, RESPECTIVELY: OR c. FOR A MUNICIPALITY, STATE, FEDERAL, OR OTHER PUBLIC FACILITY: BY EITHER A PRINCIPAL EXECUTIVE

ACCURATE INFORMATION FOR PERMIT APPLICATION REQUIREMENTS; AND WHERE AUTHORITY TO SIGN

OFFICER OR RANKING ELECTED OFFICIAL; AND d. CHANGES TO AUTHORIZATION. IF AN AUTHORIZATION UNDER PART II.B. IS NO LONGER ACCURATE. A CHANGE OF INFORMATION NOI SATISFYING THE REQUIREMENTS OF PART II.B. MUST BE SUBMITTED TO THE EPD PRIOR TO OR TOGETHER WITH ANY INSPECTION REPORTS, SAMPLING REPORTS, OR OTHER REPORTS REQUESTED BY THE EPD TO BE SIGNED BY A PERSON DESCRIBED ABOVE OR BY A DULY AUTHORIZED REPRESENTATIVE OF

2. ALL INSPECTION REPORTS, SAMPLING REPORTS, OR OTHER REPORTS REQUESTED BY THE EPD SHALL BE SIGNED BY A PERSON DESCRIBED ABOVE OR BY A DULY AUTHORIZED REPRESENTATIVE OF THAT PERSON. A PERSON IS A DULY AUTHORIZED REPRESENTATIVE ONLY IF: a. THE AUTHORIZATION IS MADE IN WRITING BY A PERSON DESCRIBED ABOVE AND

INDIVIDUAL OR POSITION HAVING OVERALL RESPONSIBILITY FOR ENVIRONMENTAL MATTERS FOR THE

SUBMITTED TO THE EPD: b. THE AUTHORIZATION SPECIFIES EITHER AN INDIVIDUAL OR A POSITION HAVING RESPONSIBILITY FOR SPECIFIED OPERATION(S) OF THE REGULATED FACILITY OR ACTIVITY, SUCH AS THE POSITION OF MANAGER, OPERATOR, SUPERINTENDENT, OR POSITION OF EQUIVALENT RESPONSIBILITY OR AN

COMPANY. (A DULY AUTHORIZED REPRESENTATIVE MAY BE EITHER A NAMED INDIVIDUAL OR ANY INDIVIDUAL OCCUPYING A NAMED POSITION): H. OIL AND HAZARDOUS SUBSTANCE LIABILITY. NOTHING IN THIS PERMIT SHALL BE CONSTRUED TO PRECLUDE THE INSTITUTION OF ANY LEGAL ACTION OR RELIEVE THE PERMITTEE FROM ANY RESPONSIBILITIES. LIABILITIES. OR PENALTIES TO WHICH THE PERMITTEE IS OR MAY BE SUBJECT UNDER THE GEORGIA HAZARDOUS WASTE MANAGEMENT ACT, O.C.G.A. § 12-8-60, ET SEQ. OR UNDER CHAPTER 14 OF TITLE 12 OF THE OFFICIAL CODE OF GEORGIA ANNOTATED; NOR IS THE OPERATOR RELIEVED FROM ANY RESPONSIBILITIES. LIABILITIES OR PENALTIES TO WHICH THE PERMITTEE IS OR MAY BE SUBJECT UNDER SECTION 311 OF THE CLEAN WATER ACT OR SECTION 106 OF COMPREHENSIVE ENVIRONMENTAL RESPONSE COMPENSATION AND LIABILITY ACT.

PROPERTY RIGHTS. THE ISSUANCE OF THIS PERMIT DOES NOT CONVEY ANY PROPERTY RIGHTS OF ANY SORT, NOR ANY EXCLUSIVE PRIVILEGES, NOR DOES IT AUTHORIZE ANY INJURY TO PRIVATE PROPERTY NOR ANY INVASION OF PERSONAL RIGHTS, NOR ANY INFRINGEMENT OF FEDERAL, STATE OR LOCAL LAWS OR REGULATIONS. J. SEVERABILITY. THE PROVISIONS OF THIS PERMIT ARE SEVERABLE, AND IF ANY PROVISION OF THIS PERMIT, OR THE APPLICATION OF ANY PROVISION OF THIS PERMIT TO ANY CIRCUMSTANCE, IS HELD INVALID, THE

APPLICATION OF SUCH PROVISION TO OTHER CIRCUMSTANCES, AND THE REMAINDER OF THIS PERMIT SHALL NOT BE AFFECTED THEREBY. K. OTHER APPLICABLE ENVIRONMENTAL REGULATIONS AND LAWS. NOTHING IN THIS PERMIT SHALL BE CONSTRUED TO PRECLUDE THE INSTITUTION OF ANY LEGAL ACTION OR RELIEVE THE PERMITTEE FROM ANY RESPONSIBILITIES, LIABILITIES, OR PENALTIES ESTABLISHED PURSUANT TO ANY APPLICABLE STATE LAW OR REGULATION UNDER AUTHORITY PRESERVED BY SECTION 510 OF THE CLEAN WATER ACT. NOTHING IN THIS PERMIT, UNLESS EXPLICITLY STATED, EXEMPTS THE PERMITTEE FROM COMPLIANCE WITH OTHER APPLICABLE LOCAL, STATE AND FEDERAL ORDINANCES, RULES, REGULATIONS, AND LAWS. FURTHERMORE, IT IS NOT A DEFENSE TO COMPLIANCE WITH THIS PERMIT THAT A LOCAL GOVERNMENT AUTHORITY HAS APPROVED THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN OR FAILED TO TAKE

ENFORCEMENT ACTION AGAINST THE PERMITTEE FOR VIOLATIONS OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, OR OTHER PROVISIONS OF THIS PERMIT. NO CONDITION OF THIS PERMIT SHALL RELEASE THE PERMITTEE FROM ANY RESPONSIBILITY OR REQUIREMENTS UNDER OTHER ENVIRONMENTAL STATUTES OR REGULATIONS L. PROPER OPERATION AND MAINTENANCE. THE PERMITTEE SHALL AT ALL TIMES PROPERLY OPERATE AND MAINTAIN ALL FACILITIES AND SYSTEMS OF TREATMENT AND CONTROL (AND RELATED APPURTENANCES) WHICH ARE INSTALLED OR USED BY THE PERMITTEE TO ACHIEVE COMPLIANCE WITH THE CONDITIONS OF THIS PERMIT AND WITH THE REQUIRED PLANS, PROPER OPERATION AND MAINTENANCE ALSO INCLUDES ADEQUATE LABORATORY CONTROLS AND APPROPRIATE QUALITY ASSURANCE PROCEDURES. PROPER OPERATION AND

MAINTENANCE REQUIRES THE OPERATION OF BACKUP OR AUXILIARY FACILITIES OR SIMILAR SYSTEMS,

INSTALLED BY AN PERMITTEE ONLY WHEN NECESSARY TO ACHIEVE COMPLIANCE WITH THE CONDITIONS OF M. INSPECTION AND ENTRY. THE PERMITTEE SHALL ALLOW THE DIRECTOR OR AN AUTHORIZED REPRESENTATIVE OF EPA, EPD OR TO DESIGNATED OFFICIALS OF THE LOCAL GOVERNMENT REVIEWING SOIL EROSION AND SEDIMENT CONTROL PLANS, GRADING PLANS, OR STORM WATER MANAGEMENT PLANS; OR, IN THE CASE OF A CONSTRUCTION SITE WHICH DISCHARGES THROUGH A MUNICIPAL SEPARATE STORM SEWER SYSTEM, AN AUTHORIZED REPRESENTATIVE OF THE MUNICIPAL OPERATOR OF THE SEPARATE STORM SEWER SYSTEM RECEIVING THE DISCHARGE, UPON THE PRESENTATION OF CREDENTIALS AND OTHER DOCUMENTS AS MAY BE

 ENTER UPON THE PERMITTEE'S PREMISES WHERE A REGULATED FACILITY OR ACTIVITY IS LOCATED OR CONDUCTED OR WHERE RECORDS MUST BE KEPT UNDER THE CONDITIONS OF THIS PERMIT; AND 2. HAVE ACCESS TO AND COPY AT REASONABLE TIMES, ANY RECORDS THAT MUST BE KEPT UNDER THE CONDITIONS OF THIS PERMIT: AND

3. INSPECT AT REASONABLE TIMES ANY FACILITIES OR EQUIPMENT (INCLUDING MONITORING AND CONTROL FOUIPMENT) N. PERMIT ACTIONS. THIS PERMIT MAY BE REVOKED AND REISSUED. OR TERMINATED FOR CAUSE INCLUDING BUT NOT LIMITED TO CHANGES IN THE LAW OR REGULATIONS. THE FILING OF A REQUEST BY THE PERMITTEE FOR TERMINATION OF THE PERMIT, OR A NOTIFICATION OF PLANNED CHANGES OR ANTICIPATED NONCOMPLIANCE, DOES NOT STAY ANY PERMIT CONDITION.

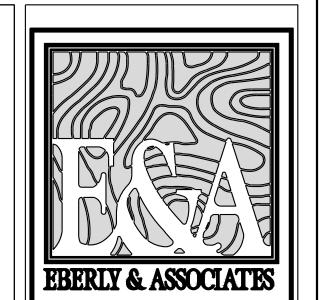
CERTIFICATION NUMBER 0000073044 EXPIRES: 01/22/2024

EBERLY & ASSOCIATES IS NOT RESPONSIBLE FOR N.P.D.E.S. WATER QUALITY MONITORING, REPORTING OF MONITORING RESULTS TO THE E.P.D.. OR RETENTION OF MONITORING & INSPECTION RECORDS. RETAIN THE SERVICES OF QUALIFIED N.P.D.E.S. WATER QUALITY MONITORING PERSONNEL.

FREE THROUGHOUT THE U.S.A. THREE WORKING DAYS Know what's below. BEFORE YOU DIG. Call before you dig.

GEORGIA UNIFORM CODING SYSTEM FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES.

SION	AND SEDI	MENT	CONTROL PRA
CODE	PRACTICE	MAP SYMBOL	DESCRIPTION
Cd	CHECKDAM	J	A SMALL TEMPORARY BARRIER OR DAM CONSTRUCTED ACROSS A SWALE, DRAINAGE DITCH, OR AREA OF CONCENTRATED FLOW.
Ch	CHANNEL STABLIZATION	A	IMPROVING, CONSTRUCTING, OR STABILIZING AN OPEN CHANNEL, EXISTING STREAM, OR DITCH.
Co	CONSTRUCTION EXIT		A CRUSHED STONE PAD LOCATED AT THE CONSTRUCTION EXIT TO PROVIDE A PLACE FOR REMOVING MUD FROM TIRES THEREBY PROTECTING PUBLIC STREETS.
Cr	CONSTRUCTION ROAD STABILIZATION	;80g °	A TRAVELWAY CONSTRUCTED AS PART OF A CONSTRUCTION PLAN INCLUDING ACCESS ROADS, SUBDIVISION ROADS, PARKING AREAS, AND OTHER ON-SITE VEHICLE TRANSCORDATION POLITICS
Dc	STREAM DIVERSION CHANNEL	De	TRANSPORTATION ROUTES. A TEMPORARY CHANNEL CONSTRUCTED TO CONVEY FLOW AROUND A CONSTRUCTION SITE WHILE A PERMANENT STRUCTURE IS BEING CONSTRUCTED.
Di	DIVERSION		AN EARTH CHANNEL OR DIKE LOCATED ABOVE, BELOW, OR ACROSS A SLOPE TO DIVERT RUNOFF. THIS MAY BE A TEMPORARY OR PERMANENT STRUCTURE.
Dn1	TEMPORARY DOWNDRAIN STRUCTURE	(Dn1)	A FLEXIBLE CONDUIT OF HEAVY-DUTY FABRIC OR OTHER MATERIAL DESIGNED TO SAFELY CONDUCT SURFACE RUNOFF DOWN A SLOPE. TEMPORARY AND INEXPENSIVE.
Dn2	PERMANANT DOWNDRAIN	(LABEL)	A PAVED CHUTE, SECTIONED CONDUIT, PIPE, OR SIMILAR MATERIAL DESIGNED TO SAFELY CONDUCT SURFACE RUNOFF DOWN A SLOPE.
Fr	STRUCTURE FILTER RING	(LABEL)	A TEMPORARY STONE BARRIER CONSTRUCTED AT STORM DRAIN INLETS AND POND OUTLETS.
Ga	GABION		ROCK FILTER BASKETS WHICH ARE HAND-PLACED INTO POSITION FORMING
Gr	GRADE STABILIZATION STRUCTURE	Gr	PERMANENT STRUCTURES INSTALLED TO PROTECT NATURAL OR ARTIFICIAL CHANNELS OR WATERWAYS WHERE OTHERWISE THE SLOPE WOULD BE SUFFICIENT FOR THE RUNNING WATER TO FORM
Lv	LEVEL SPREADER		GULLIES. A STRUCTURE TO CONVERT CONCENTRATED FLOW OF WATERS INTO LESS EROSIVE SHEET FLOW. THIS SHOULD
Rd	ROCK FILTER DAM		BE CONSTRUCTED ONLY ON UNDISTURBED SOILS. A PERMANANT OR TEMPORARY STONE FILTER DAM INSTALLED ACROSS SMALL
Re	RETAINING WALL		STREAMS OR DRAINAGEWAYS. A WALL INSTALLED TO STABILIZE CUT AND FILL SLOPES WHERE MAXIMUM PERMISSIBLE SLOPES ARE NOT
Rt	RETROFITTING	(LABEL)	OBTAINABLE. EACH SITUATION WILL REQUIRE SPECIAL DESIGN. A DEVICE OR STRUCTURE PLACED IN FRONT OF A PERMANENT STORMWATER DETENTION POND OUTLET STRUCTURE TO
Sd1)	SEDIMENT BARRIER	(LABEL) Sd1)	SERVE AS A TEMPORARY SEDIMENT FILTER. A BARRIER TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. IT MAY BE SANDBAGS, BALES OF STRAW OR HAY, GRAVEL OR A SEDIMENT FENCE. THE
	SEDIMENT TRAP	(INDICATE TYPE)	BARRIERS ARE USUALLY TEMPORARY AND INEXPENSIVE.
Sd2	TEMPORARY SEDIMENT		STABILIZED ON COMPLETION OF CONSTRUCTION ACTIVITIES. A BASIN CREATED BY EXCAVATION OR A DAM ACROSS A WATERWAY. THE SURFACE WATER RUNOFF IS TEMPORARILY STORED ALLOWING THE BULK OF THE SEDIMENT TO DROP
Sd3	BASIN TEMPORARY TEMPORARY		OUT. THE BASIN IS USUALLY TEMPORARY BUT MAY BE DESIGNED AS A PERMANENT POND OR STORMWATER RETENTION DEVICE. A SEDIMENT TRAP CREATED BY EXCAVATION OR A DAM ACROSS A DEPRESSION. THE SURFACE WATER RUNOFF IS
Sd4	SEDIMENT TRAP		TEMPORARILY STORED ALLOWING THE BULK OF THE SEDIMENT TO DROP OUT. THE TRAP DOES NOT HAVE A PIPE OF A RISER.
Sk	FILTER SURFACE SKIMMER	-	A BUOYANT DEVICE THAT RELEASES/ DRAINS WATER FROM THE SURFACE OF SEDIMENT PONDS, TRAPS OR BASINS AT A CONTROLLED RATE OF FLOW.
SpB	SEEP BERM		A LINEAR CONTROL DEVICE CONSTRUCTED AS A DIVERSION PERPENDICULAR TO THE DIRECTION OF RUN-OFF TO ENHANCE DISSIPATION AND INFILTRATION OF RUN-OFF.
Sr	TEMPORARY STREAM CROSSING	Sr	A TEMPORARY BRIDGE OR CULVERT-TYPE STRUCTURE PROTECTING A STREAM OR WATERCOURSE FROM DRAINAGE BY CROSSING CONSTRUCTION EQUIPMENT.
St	STORMDRAIN INLET/OUTLET PROTECTION	(LABEL)	A PAVED OR SHORT SECTION OR RIPRAP CHANNEL AT THE OUTLET OF A STORM DRAIN SYSTEM PREVENTING EROSION FROM THE
Su	SURFACE ROUGHING	⊢(Su)—I	CONCENTRATED RUNOFF. A ROUGH SOIL SURFACE WITH HORIZONTAL DEPRESSIONS ON A CONTOUR OR SLOPES LEFT IN A ROUGHENED CONDITION AFTER GRADING.
Tc	TURBIDITY CURTAIN	0000	A FLOATING OR STAKED BARRIER INSTALLED WITHIN THE WATER.
Тр	TOPSOILING	Ho	THE PRACTICE OF STRIPPING OFF THE MORE FERTILE SOIL, STORING IT, THEN SPREADING IT OVER THE DISTURBED CONSTRUCTION ACTIVITIES.
Tr	TREE PROTECTION	改作	USE OF TREE PROTECTION FENCING TO PROTECT DESIRABLE TREES FROM INJURY
Wt	VEGETATED WATERWAY/ STORMWATER		PAVED OR VEGETATIVE WATER OUTLETS FOR DIVERSIONS, TERRACES, BERMS, DIKES, OR SIMILAR STRUCTURES.
	CONVERYANCE CHANNEL VEGE	TATIVE M	IEASURES
Bf	BUFFER ZONE	Bf	A STRIP OF UNDISTURBED, ORIGINAL VEGETATION, ENHANCED OR RESTORED EXISTING VEGETATION OR THE REESTABLISHMENT OF VEGETATION SURROUNDING AN AREA
Cs	COASTAL DUNE STABLIZATION	Cs	OF DISTURBANCE OR BORDERING STREAMS, PONDS, WETLANDS, LAKES AND COASTAL WATERS. PLANTING VEGETATION ON DUNES THAT ARE DENUDED, ARTIFICIALLY
Ds1	DISTURBED AREA STABLIZATION	Ds1	APPLYING PLANT RESIDUES OR OTHER SUITABLE MATERIAL, PRODUCED ON THE SITE IF POSSIBLE, TO
Ds2	(MULCHING ONLY) DISTURBED AREA STABLIZATION	Ds2	THE SOIL SURFACE. THE ESTABLISHMENT OF TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS FOR SEASONAL PROTECTION
Ds3	(TEMPORARY SEEDING) DISTURBED AREA STABLIZATION	Ds3	ON DISTURBED OR DENUDED AREAS. THE PLANTING OF PERENNIAL VEGETATION SUCH AS TREES, SHRUBS, VINES, GRASSES, OR LEGUMES ON EXPOSED AREAS FOR FINAL PERMANENT STABILIZATION. PERMANENT
Ds4	(PERMANANT SEEDING) DISTURBED AREA STABLIZATION (WITH	Ds4	PERENNIAL VEGETATION SHALL BE USED TO ACHIEVE FINAL STABILIZATION. A PERMANENT VEGETATIVE COVER USING SODS ON HIGHLY ERODIBLE OR
Du	SODDING) DUST CONTROL ON DISTURBED AREAS	Du	CRITICALLY ERODED LANDS. CONTROLLING SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION
FI-Co	FLOCCULANTS AND	FI-Co	SITES, ROADS, AND DEMOLITION SITES. FORMULATED TO SETTLE SUSPENDED SEDIMENT, HEAVY METALS AND HYDROCARBONS (TSS) IN RUNOFF
Sb	STREAMBANK	Sb	WATER FROM CONSTRUCTION SITES FOR WATER CLARRIFICATION THE USE OF READILY AVAILABLE NATIVE PLANT MATERIALS TO MAINTAIN AND ENHANCE
	STABILIZATION (PERMANENT VEG.) SLOPE STABILIZATION		STREAM BANKS, OR TO PREVENT, OR RESTORE AND REPAIR SMALL STREAM BANK EROSION PROBLEMS. A PROTECTIVE COVERING USED TO PREVENT
Ss	TACKIFIERS	Ss	EROSION AND ESTABLISH TEMPORARY IF PERMANENT VEGETATION ON STEEP SLOPES OR CHANNELS. SUBSTANCE USED TO ANCHOR STRAW OR HAY MULCH BY CAUSING THE ORGANIC MATERIAL TO
Tac		Tac	MULCH BY CAUSING THE ORGANIC MATERIAL TO BIND TOGETHER.



TEL770.452.7849 FAX770.452.0086 12951 FLOWERS ROAD SOUTH. STE 11 ATLANTA, GEORGIA 30341 WWW.EBERLY.NET CIVIL ENGINEERING

LANDSCAPE ARCHITECTURE



REVISIONS: 05/20/2022 CONCEPT REVISION 1 06/23/2022 FULTON COUNTY SUB 08/05/2022 FULTON HEALTH DEPT 09/23/2022 | CONCEPT REVISION 2 10/07/2022 | CONCEPT REVISION 3

PROJECT NO.

22-010

SHEET NO.

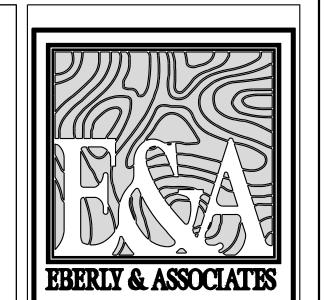
EROSION, SEDIMENTATION AND POLLUTION CONTROL CHECKLIST

			STAND ALONE CONSTRUCTION PROJECTS
		_	SWCD:
Proje	ct Name		South Park Building B and C Address: Whitewater Place
City/C	County:_		Fairburn/Fulton Date on Plans:03/10/21
Name	& emai	l of	person filling out checklist:Taylor Rapp trapp@eberly.net
Plan	Included		TO BE SHOWN ON ES&PC PLAN
Page #		4	The applicable Facility Coding white and Delhifty Combal Disc Charlifty while had be the Commission
EC1.2	Y	1	The applicable Erosion, Sedimentation and Pollution Control Plan Checklist established by the Commission as of January 1 of the year in which the land-disturbing activity was permitted.
			(The completed Checklist must be submitted with the ES&PC Plan or the Plan will not be reviewed)
A 1 1		2	Level II certification number issued by the Commission, signature and seal of the certified design professional.
ALL	Y	Z	(Signature, seal and Level II number must be on each sheet pertaining to ES&PC plan or the Plan will not be
			reviewed)
EC1.0	Υ	3	Limits of disturbance shall be no greater than 50 acres at any one time without prior written authorization from
EC1.0	T	3	the GAEPD District Office. If GAEPD approves the request to disturb 50 acres or more at any one time, the Plan must
			include at least 4 of the BMPs listed in Appendix 1 of this checklist and the GAEPD approval letter. *
			(A copy of the written approval by GAEPD must be attached to the plan for the Plan to be reviewed.)
EC1.0	Υ	4	The name and phone number of the 24-hour contact responsible for erosion, sedimentation and pollution controls.
			Provide the name, address, email address, and phone number of primary permittee.
EC1.0			
EC1.0			Note total and disturbed acreages of the project or phase under construction.
EC1.0	Υ	7	Provide the GPS location of the construction exit for the site. Give the Latitude and Longitude in decimal degrees.
EC1.0	Υ	8	Initial date of the Plan and the dates of any revisions made to the Plan including the entity who requested the revisions.
EC1.0	Υ	9	Description of the nature of construction activity and existing site conditions.
EC2.0			
4.2	Υ	10	Provide vicinity map showing site's relation to surrounding areas. Include designation of specific phase, if necessary.
EC1.0	Υ	11	Identify the project receiving waters and describe all sensitive adjacent areas including streams, lakes,
LC1.0			residential areas, wetlands, marshlands, etc. which may be affected.
EC1.0	Υ	12	Design professional's certification statement and signature that the site was visited prior to development of the
LCI.U	'	12	ES&PC Plan as stated on Part IV page 19 of the permit.
EC1.0	Υ	12	Design professional's certification statement and signature that the permittee's ES&PC Plan provides for an appropriate
EC1.0	Y	13	and comprehensive system of BMPs and sampling to meet permit requirements as stated on Part IV page 19 of the permit. *
F.C.1 . O	l v	4.4	
EC1.0	Υ	14	Clearly note the statement that "The design professional who prepared the ES&PC Plan is to inspect the installation of the initial sediment storage requirements and perimeter control BMPs within 7 days after installation."
			in accordance with Part IV.A.5 page 25 of the permit. *
504.0		45	
EC1.0	Υ	15	Clearly note the statement that "Non-exempt activities shall not be conducted within the 25 or 50-foot undisturbed stream buffers as measured from the point of wrested vegetation or within 25-feet of the coastal
			marshland buffer as measured from the Jurisdictional Determination Line without first acquiring the necessary
			variances and permits."
EC1.0	Υ	16	Provide a description of any buffer encroachments and indicate whether a buffer variance is required.
LCI.U			
	Υ	17	Clearly note the statement that "Amendments/revisions to the ES&PC Plan which have a significant effect on BMPs with a hydraulic component must be certified by the design professional." *
			pives win a dygrauic component must be certiled by the design professional " "
EC1.0			
EC1.0	Υ	18	Clearly note the statement that "Waste materials shall not be discharged to waters of the State, except as
EC1.0			Clearly note the statement that "Waste materials shall not be discharged to waters of the State, except as authorized by a Section 404 permit." *
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EC1.0 EC1.0 EC1.0 EC1.0	Y	19 20 21 22	Clearly note the statement that "Waste materials shall not be discharged to waters of the State, except as authorized by a Section 404 permit." * Clearly note statement that "The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to land disturbing activities." Clearly note statement that "Erosion control measures will be maintained at all times. If full implementation of the approved Plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source." Clearly note the statement "Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding." Any construction activity which discharges storm water into an Impaired Stream Segment, or within 1 linear mile upstream of and within the same watershed as, any portion of a Biota Impaired Stream Segment must comply with Part III. C. of the permit. Include the completed Appendix 1 listing all the BMPs that will be used for those areas of the site which discharge to the Impaired Stream Segment. * If a TMDL Implementation Plan for sediment has been finalized for the Impaired Stream Segment (identified in Item 22 above) at least six months prior to submittal of NOI, the ES&PC Plan must address any site-specific
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EC1.0	Y	26	Description of the measures that will be installed during the construction process to control pollutants in storm	
LC1.0	,] = "	water that will occur after construction operations have been completed. *	
EC1.0	Υ	27	Description of practices to provide cover for building materials and building products on site. *	
EC1.0	Υ	28	Description of the practices that will be used to reduce the pollutants in storm water discharges. *	
EC1.0	Υ	29	Description and chart or timeline of the intended sequence of major activities which disturb soils for the major	
			portions of the site (i.e., initial perimeter and sediment storage BMPs, clearing and grubbing activities,	
			excavation activities, utility activities, temporary and final stabilization).	
EC1.1	Υ	30	Provide complete requirements of Inspections and record keeping by the primary permittee. *	
EC1.1	Υ	31	Provide complete requirements of Sampling Frequency and Reporting of sampling results. *	
EC1.1	Υ	32	Provide complete details for Retention of Records as per Part IV.F. of the permit. *	
EC1.1	Υ	33	Description of analytical methods to be used to collect and analyze the samples from each location. *	
EC1.0	Υ	34	Appendix B rationale for NTU values at all outfall sampling points where applicable. *	
EC2.0	Υ	35	Delineate all sampling locations, perennial and intermittent streams and other water bodies into which	
			storm water is discharged. *	
EC1.0	Υ	36	A description of appropriate controls and measures that will be implemented at the construction site including:	
			(1) initial sediment storage requirements and perimeter control BMPs, (2) intermediate grading and drainage	
			BMPs, and (3) final BMPs. For construction sites where there will be no mass grading and the initial perimeter	
			control BMPs, intermediate grading and drainage BMPs, and final BMPs are the same, the Plan may combine all of the BMPs into a single phase. *	
EC2.0				
4.2	Υ	37	Graphic scale and North arrow.	
EC2.0				
4.2	Υ	38	Existing and proposed contour lines with contour lines drawn at an interval in accordance with the following:	
			Map Scale Ground Slope Contour Intervals, ft.	
			1 inch = 100ft or Flat 0 - 2% 0.5 or 1	
			larger scale Rolling 2 - 8% 1 or 2	
EC2.0				
4.2	Υ	39	Use of alternative BMPs whose performance has been documented to be equivalent to or superior to	
			conventional BMPs as certified by a Design Professional (unless disapproved by GAEPD or the Georgia Soil	
			and Water Conservation Commission). Please refer to the Alternative BMP Guidance Document found at	
		1	www.gaswcc.georgia.gov.	
N/A	N	40	Use of alternative BMP for application to the Equivalent BMP List. Please refer to Appendix A-2 of the Manual	
F.C.2. O			for Erosion & Sediment Control in Georgia 2016 Edition. *	
EC2.0 4.2	l _y	41	Delineation of the applicable 25-foot or 50-foot undisturbed buffers adjacent to state waters and any additional	
		1	buffers required by the Local Issuing Authority. Clearly note and delineate all areas of impact	
EC2.0				
4.2	Υ	42	Delineation of on-site wetlands and all state waters located on and within 200 feet of the project site.	
EC2.0				
4.2	Y	43	Delineation and acreage of contributing drainage basins on the project site.	
HYD	HYD	44	Provide hydrology study and maps of drainage basins for both the pre- and post-developed conditions. *	
EC1.0	Υ	45	An estimate of the runoff coefficient or peak discharge flow of the site prior to and after construction activities are	
		-	completed.	
EC2.0		100		
4.2	Y	46	Storm-drain pipe and weir velocities with appropriate outlet protection to accommodate discharges without erosion. Identify/Delineate all storm water discharge points.	
EC1.0	Y	1 47	Soil series for the project site and their delineation.	
		1	con series of the projectists and their demication.	
EC2.0 4.2	Y	48	The limits of disturbance for each phase of construction.	
EC2.0	-	†		
4.2	Υ	49	Provide a minimum of 67 cubic yards of sediment storage per acre drained using a temporary sediment basin,	
			retrofitted detention pond, and/or excavated inlet sediment traps for each common drainage location. Sediment	
			storage volume must be in place prior to and during all land disturbance activities until final stabilization of the	
			site has been achieved. A written justification explaining the decision to use equivalent controls when a sediment basin is not attainable must be included in the Plan for each common drainage location in which a	
			sediment basin is not attainable must be included in the Plan of each common dramage location in which a sediment basin is not provided. A written justification as to why 67 cubic yards of storage is not attainable must	
			also be given. Worksheets from the Manual included for structural BMPs and all calculations used by the	
			storage design professional to obtain the required sediment when using equivalent controls. When discharging	
			from sediment basins and impoundments, permittees are required to utilize outlet structures that withdraw water from the surface, unless infeasible. If outlet structures that withdraw water from the surface are not feasible,	
			a written justification explaining this decision must be included in the Plan.	
EC1.1	Υ	50	Location of Best Management Practices that are consistent with and no less stringent than the Manual for	
			Erosion and Sediment Control in Georgia. Use uniform coding symbols from the Manual, Chapter 6, with	
			legend.	
		51	Provide detailed drawings for all structural practices. Specifications must, at a minimum, meet the guidelines set	
	Υ] 01	forth in the Manual for Erosion and Sediment Control in Georgia.	
5.4	Υ			
5.4 EC5.0	Υ		Provide vegetative plan, noting all temporary and permanent vegetative practices. Include species, planting	
5.4 EC5.0	Υ		Provide vegetative plan, noting all temporary and permanent vegetative practices. Include species, planting dates and seeding, fertilizer, lime and mulching rates. Vegetative plan shall be site specific for appropriate time	
5.4 EC5.0	Υ			
EC5.0 5.4 EC5.0 5.4	Υ	52	dates and seeding, fertilizer, lime and mulching rates. Vegetative plan shall be site specific for appropriate time	
5.4 EC5.0	Υ	52	dates and seeding, fertilizer, lime and mulching rates. Vegetative plan shall be site specific for appropriate time of the year that seeding will take place and for the appropriate geographic region of Georgia.	

EROSION, SEDIMENTATION AND POLLUTION CONTROL APPENDIX 1

1		11716	E SITE WHICH DISCHARGE TO AN IMPAIRED STREAM SEGMENT AND FOR SITES WHICH EPD HAS APPROVED IN WRITING A REQUEST TO DISTURB 50 ACRES OR MORE AT ANY ONE TIME.					
DI		+	The four items chosen must be appropriate for the site conditions.					
Plan	Included							
Page #	Y/N	2	During construction activities, double the width of the 25-foot undisturbed vegetated buffer along					
		a.	all State waters requiring a buffer and the 50-foot undisturbed vegetated buffer along all State waters classified as "trout streams" requiring a buffer. During construction activities, EPD will not grant variances to any such buffers that are increased in width.					
	EC2.0	b.	rease all temporary sediment basins and retrofitted storm water management basins to ovide sediment storage of at least 3600 cubic feet (134 cubic yards) per acre drained.					
		C.	Use baffles in all temporary sediment basins and retrofitted storm water management basins to at least double the conventional flow path length to the outlet structure.					
		d.	A large sign (minimum 4 feet x 8 feet) must be posted on site by the actual start date of construction. The sign must be visible from a public roadway. The sign must identify the following: (1) construction site, (2) the permittee(s), (3) the contact person(s) and telephone number(s), and (4) the permittee-hosted website where the Plan can be viewed must be provided on the submitted NOI. The sign must remain on site and the Plan must be available on the provided website until a NOT has been submitted.					
		e.	Use flocculants or coagulants and/or mulch to stabilize areas left disturbed for more than seven (7) calendar days in accordance with Part III. D.1. of the current NPDES Permits.					
		f.	Conduct turbidity sampling after every rain event of 0.5 inch or greater within any 24-hour period, recognizing the exceptions specified in Part IV.D.6.d. of the current NPDES Permits.					
		g.	Comply with the applicable end-of-pipe turbidity effluent limit, without the "BMP defense" as provided for in O.C.G.A. 12-7-6 (a)(1).					
		h.	Reduce the total planned site disturbance to less than 50% impervious surfaces (excluding any State-mandated buffer areas from such calculations). All calculations must be included on the Plan.					
	EC2.0- 2.2	i.	Limit the amount of disturbed area at any one time to no greater than 25 acres or 50% of the total planned site, whichever is less. All calculations must be included on the Plan.					
		j.	Use "Dirt II" techniques available on the EPD website to model and manage construction storm water runoff (including sheet flow). All calculations must be included on the Plan. (https://epd.georgia.gov/erosion-and-sedimentation)					
		k.	Add appropriate organic soil amendments (e.g., compost) and conduct pre- and post- construction soil sampling to a depth of six (6) inches to document improved levels of soil carbon after final stabilization of the construction site.					
		l.	Use mulch filter berms, in addition to a silt fence, on the site perimeter wherever construction storm water (including sheet flow) may be discharged. Mulch filter berms cannot be placed in waterways or areas of concentrated flow.					
		m.	Use appropriate erosion control slope stabilization instead of concrete in all construction storm water ditches and storm drainages designed for a 25-year, 24-hour rainfall event.					
		n.	Use flocculants or coagulants under a passive dosing method (e.g., flocculant blocks) within construction storm water ditches and storm drainages that feed into temporary sediment basins and retrofitted management basins.					
		0.	Install sod for a minimum 20-foot width (in lieu of seeding) after final grade has been achieved, along the site perimeter wherever storm water (including sheet flow) may be discharged.					
	EC2.0- 2.2	p.	Conduct soil tests to identify and to implement site-specific fertilizer needs.					
		q.	Certified personnel for primary permittees shall conduct inspections at least twice every seven (7) calendar days and within 24 hours of the end of the storm that is 0.5 inches rainfall or greater in accordance with Part IV.D.4.a.(3)(a) – (c); secondary permittees, Part IV.D.4.b.(3)(a) – (c); and tertiary permittees Part IV.D.4.c.(3)(a) – (c) *					
		r.	Apply the appropriate compost blankets (minimum depth 1.5 inches) to protect soil surfaces until vegetation is established during the final stabilization phase of the construction activity.					
		S.	Use alternative BMPs whose performance has been documented to be superior to conventional BMPs as certified by a Design Professional (unless disapproved by EPD or the Georgia Soil and Water Conservation Commission). (If using this item please refer to the Alternative BMP guidance document found at www.gaswcc.georgia.gov)					
		t	Limit the total planned site disturbance to less than 15% impervious surfaces (excluding any state mandated buffer areas from such calculations). All calculations must be included in the Plan.					
	EC2.0- 2.2	u.	Conduct inspections during the intermediate grading and drainage BMP phase and during the final BMP phase of the project by the design professional who prepared the Plan in accordance with Part IV.A.5 of the permit. The Plan must include a statement that the primary permittee must retain the design professional who prepared the Plan to conduct inspections during the intermediate grading and drainage BMP phase and during the final BMP phase.					
		٧.	Install Post Construction BMPs (e.g., runoff reduction BMPs) which remove 80% TSS as outlined in the Georgia Stormwater Management Manual known as the Blue Book or an equivalent or more stringent design manual.					
			Effective January 1, 2022					
		+						
			* This requirement is different for infrastructure projects: Certified personnel for primary permittees shall conduct inspections at least once every seven (7) calendar days and within 24 hours of the end of the storm that is 0.5 inches rainfall or greater in accordance with Part IV.D.4.a.(3)(a) – (c) of the permit					



TEL770.452.7849 FAX770.452.0086
2951 FLOWERS ROAD SOUTH, STE 119
ATLANTA, GEORGIA 30341
WWW.EBERLY.NET

LAND PLANNING

LAND PLANNING

CIVIL ENGINEERING

LANDSCAPE ARCHITECTURE



JILDING C

LAND LOT 33 & 34 9F DISTRICT 7760 SPENCE ROAD, FAI

PRO

REVISIONS:

05/20/2022 CONCEPT REVISION 1
06/23/2022 FULTON COUNTY SUB
08/05/2022 FULTON HEALTH DEPT
09/23/2022 CONCEPT REVISION 2
10/07/2022 CONCEPT REVISION 3

&PC NOTES

NA

03/14/202

T. RAPF

WESLEY REE

SCALE:

DATE:

DRAWN BY:

PRO IECT MANAGER:

PROJECT NO.

22-010

SHEET NO.

EC1.2

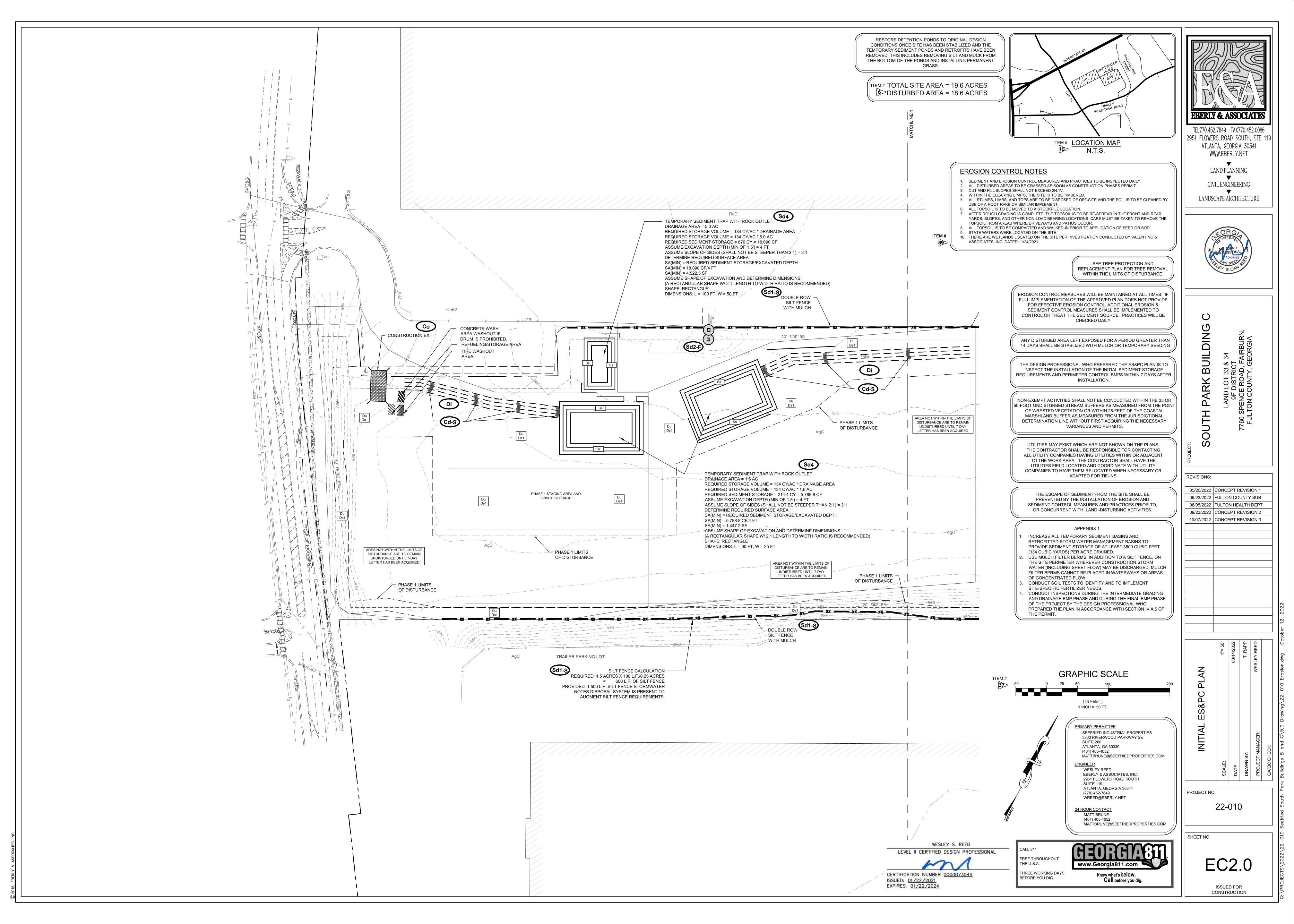
ISSUED FOR CONSTRUCTION

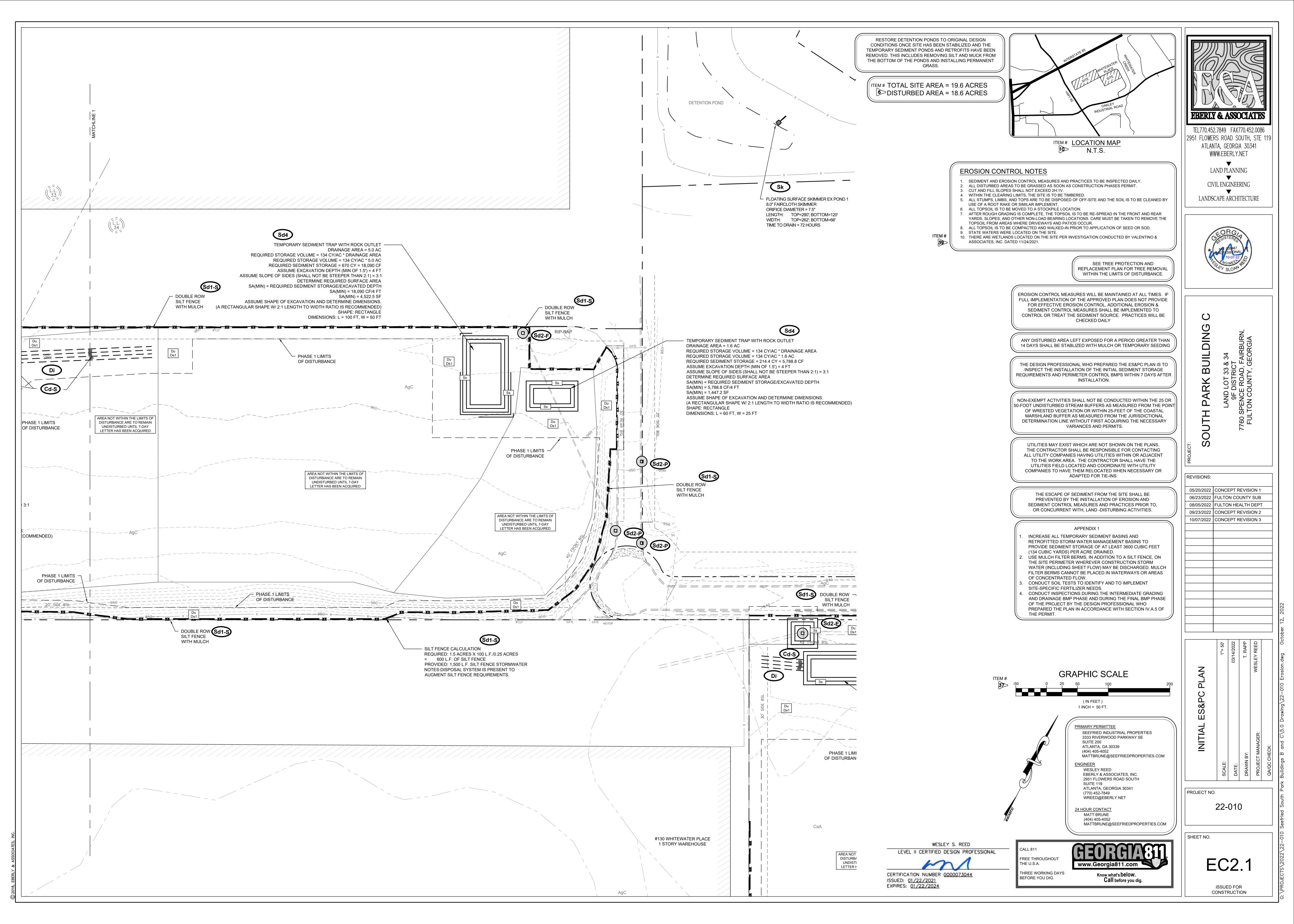
WESLEY S. REED

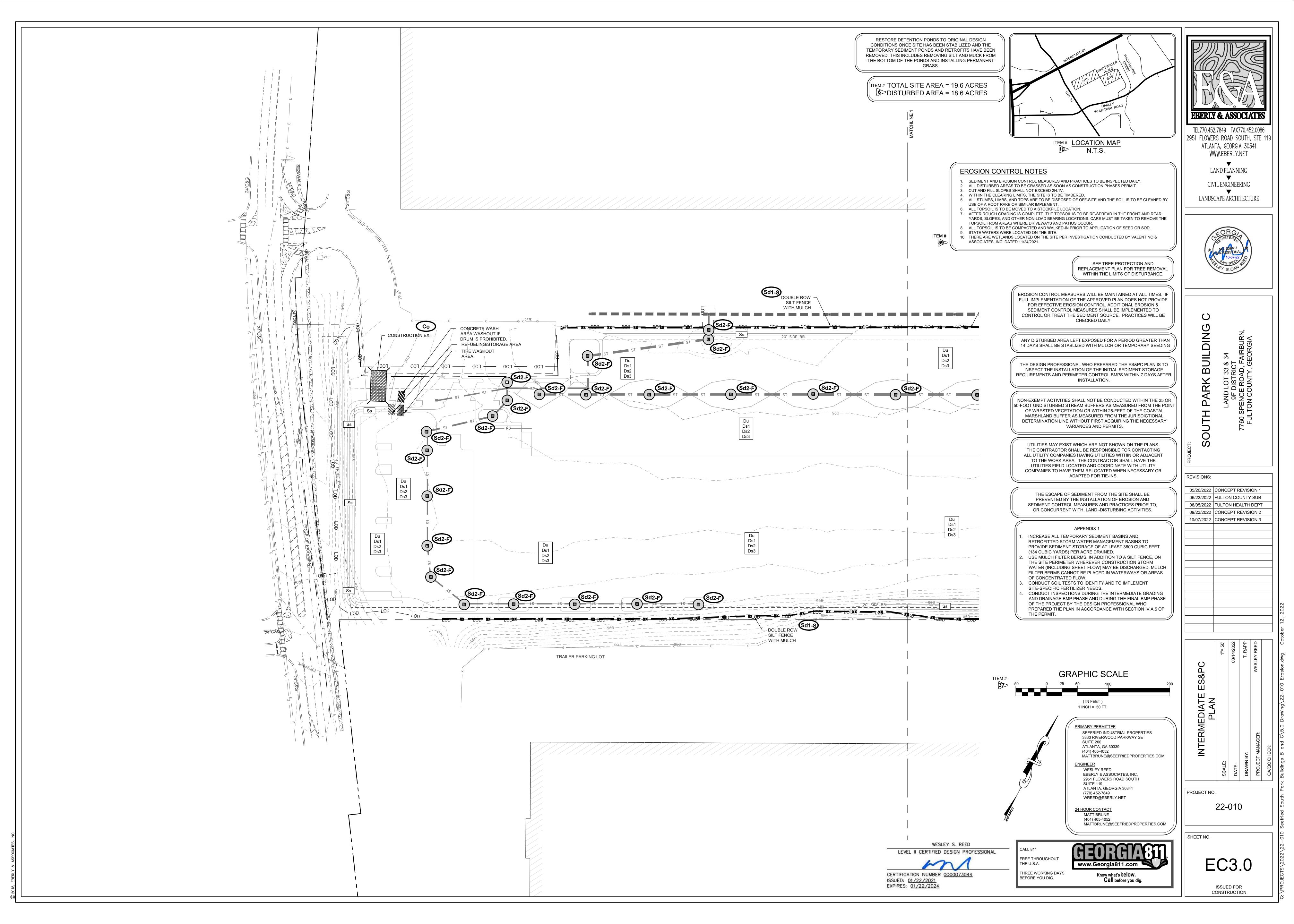
LEVEL II CERTIFIED DESIGN PROFESSIONAL

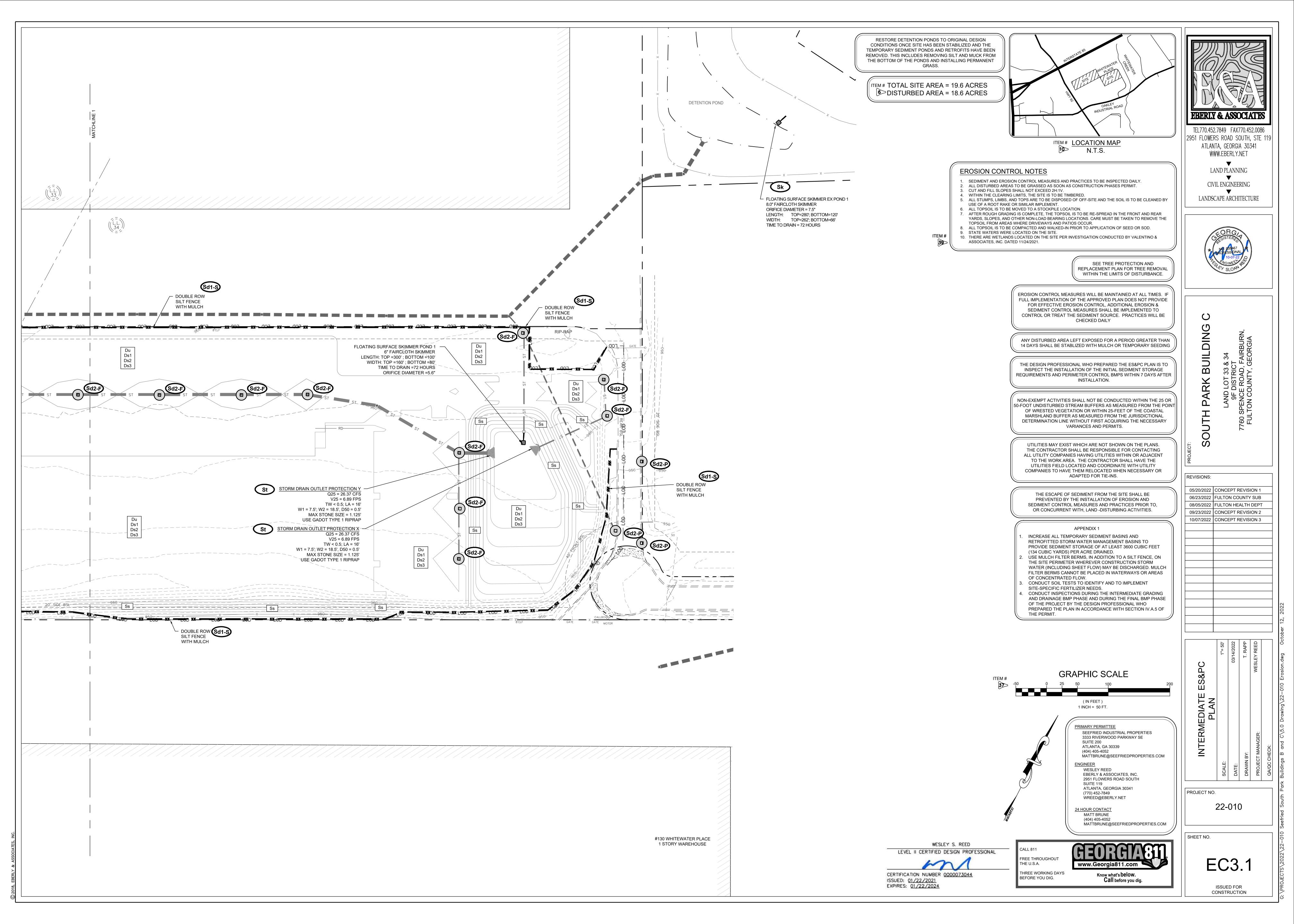
CERTIFICATION NUMBER 0000073044 ISSUED: 01/22/2021 EXPIRES: 01/22/2024 FREE THROUGHOUT
THE U.S.A.
THREE WORKING DAYS
BEFORE YOU DIG.

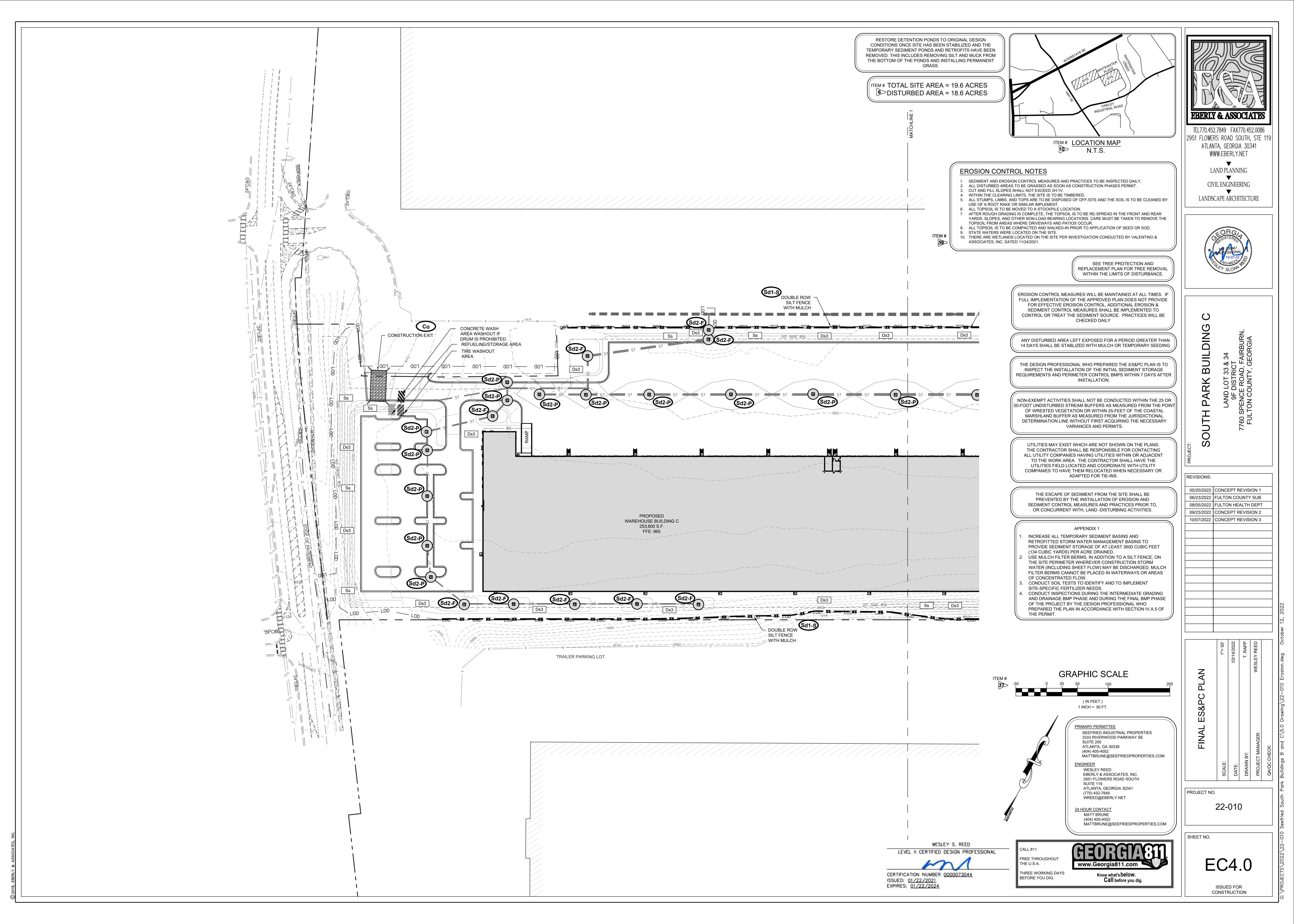


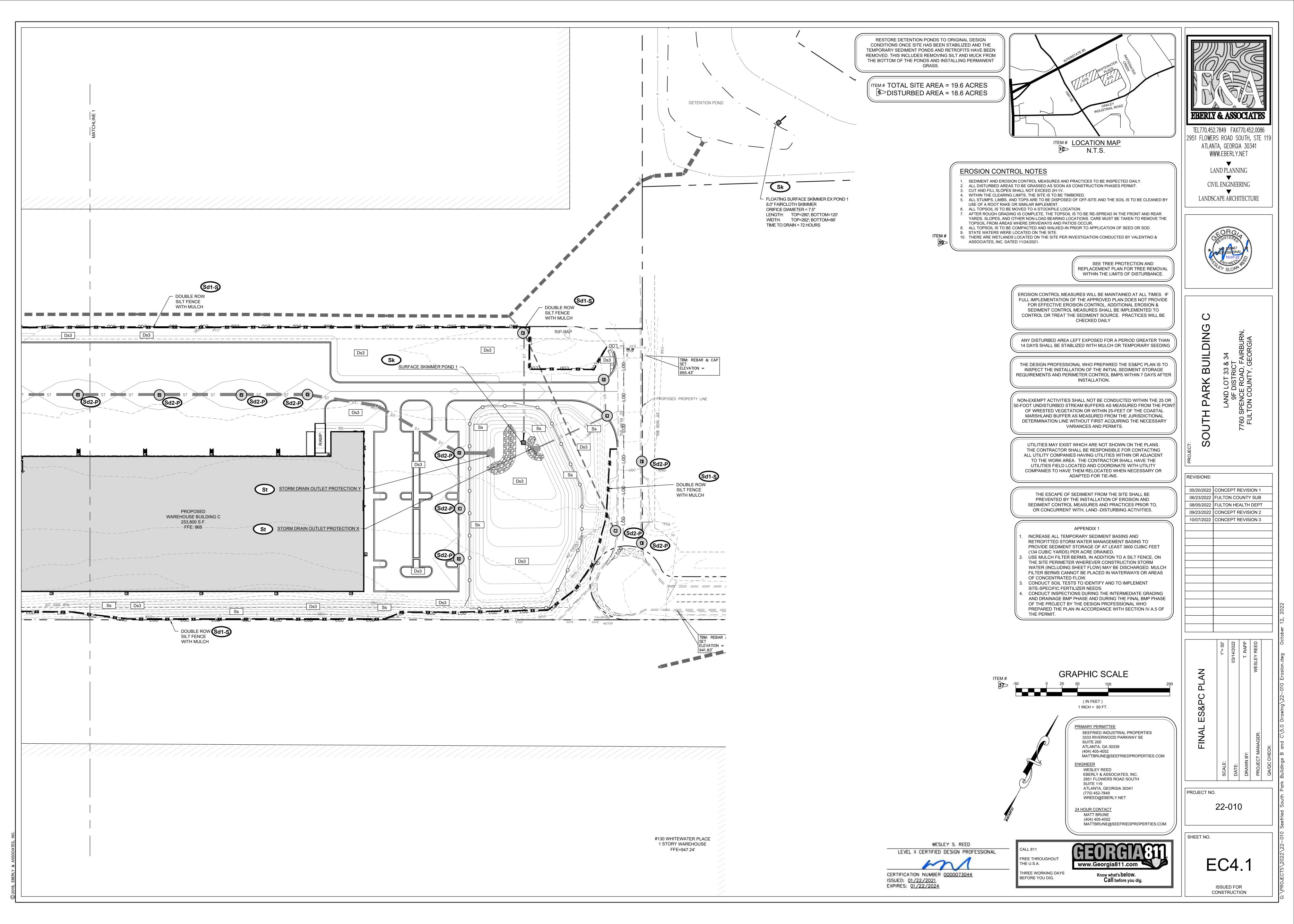












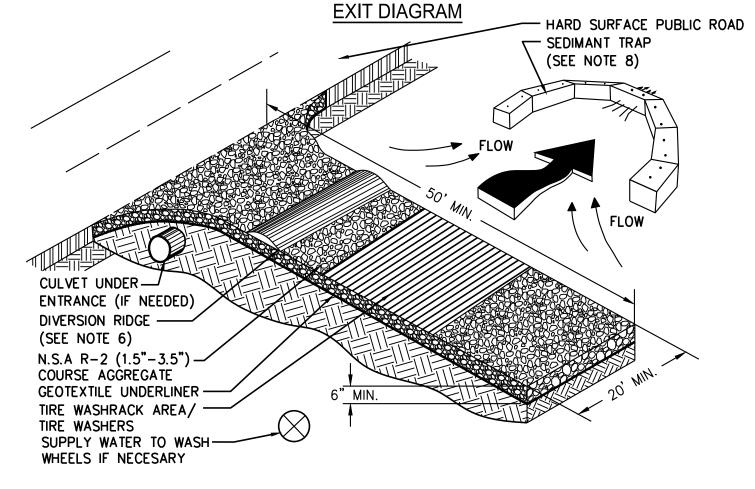
A = THE TOE OF THE UPSTREAM CHECK DAM. B = TOP OF THE DOWNSTREAM CHECK DAM.L = THE DISTANCE SUCH THAT POINTS A AND B ARE OF EQUAL ELEVATION. **CROSS SECTION** - TOP OF EXISTING BANK TOP OF EXISTING BANK MINIMUM 9 24" MAXIMUM STONE CHECK DAM **PROFILE VIEW** (2"-10" STONE) — GEOTEXTILE -FLOW ---24" MAXIMUM

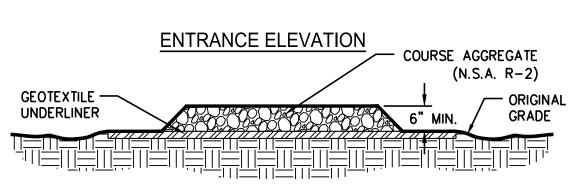
SPACING BETWEEN CHECK DAMS

PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED. SEDIMENT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF ONE-HALF THE ORIGINAL DAM HEIGHT OR BEFORE. IF THE AREA IS TO BE MOWED, CHECK DAMS SHALL BE REMOVED ONCE FINAL STABILIZATION HAS OCCURRED. OTHERWISE CHECK DAMS MAY REMAIN IN PLACE PERMANENTLY. AFTER REMOVAL, THE AREA BENEATH THE DAM SHALL BE SEEDED AND MULCHED IMMEDIATELY.

SPECIFICATIONS: 1. CHECK DAMS SHALL BE USED ONLY IN SMALL OPEN CHANNELS (THEY ARE NOT TO BE

- THE DRAINAGE AREA FOR STONE CHECK DAMS SHALL NOT EXCEED TWO ACRES. THE CENTER OF THE CHECK DAM MUST BE AT LEAST 9 INCHES LOWER THAN THE
- 4. THE DAM HEIGHT SHALL BE A MAXIMUM OF 2 FEET FROM CENTER TO RIM EDGE. THE SIDE SLOPES OF THE CHECK DAM SHALL NOT EXCEED A 2:1 SLOPE. STONE CHECK DAMS SHOULD BE CONSTRUCTED OF GRADED SIZE 2-10 IN. STONE MECHANICAL OR HAND PLACEMENT SHALL BE REQUIRED TO INSURE COMPLETE COVERAGE OF THE ENTIRE WIDTH OF THE DITCH OR SWALE AND THAT THE CENTER OF THE DAM IS LOWER THAN THE EDGES. THE CENTER OF THE CHECK DAM MUST BE AT
- LEAST 9 INCHES LOWER THAN THE OUTER EDGES. 7. TWO OR MORE CHECK DAMS IN A SERIES SHALL BE USED FOR DRAINAGE AREAS GREATER THAN ONE ACRE. MAXIMUM SPACING BETWEEN DAMS SHOULD BE SUCH THAT THE TOW OF THE UPSTREAM DAM IS AT THE SAME ELEVATION AS THE TOP OF THE DOWNSTREAM DAM.
- 8. A GEOTEXTILE SHALL BE USED AS A SEPARATOR BETWEEN THE GRADED STONE AND THE SOIL BASE AND ABUTMENTS. IT SHALL BE SELECTED/SPECIFIED IN ACCORDANCE WITH AASHTO M288-06 SECTION 7.3, SEPERATION REQUIREMENTS, TABLE 3. THE GEOTEXTILE SHALL BE "SET" INTO THE SUBGRADE SOILS. IT SHALL BE PLACED IMMEDIATELY ADJACENT TO THE SUBGRADE WITHOUT ANY VOIDS AND EXTEND FIVE FEET BEYOND THE DOWNSTREAM TOW OF THE DAM TO PREVENT SCOUR.





THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1.5-3.5 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY STRUCTURES TO TRAP SEDIMENT. ALL MATERIAL SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

- 1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS. 2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
- 3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
- 4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6". 5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
- 6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%. 7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
- 8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT
- CONTROL DEVICE). 9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL
- SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT. 10.MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO
- PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. 11. THE GEOTEXTILE UNDERLINER MUST BE PLACED THE FULL LENGTH AND WIDTH OF THE
- ENTRANCE. GEOTEXTILE SELECTION SHALL BE BASED ON AASHTO M288-06 A. FOR SUBGRADES WITH CBR GREATER THAN OR EQUAL TO 3 OR SHEAR STRENGTH
- GREATER THAN 90 kPo, GEOTEXTILE MUST MEET REQUIREMENTS OF SECTION AASHTO M288-06 SECTION 7.3, SEPERATION REQUIREMENTS. B. FOR SUBGRADES WITH CBR BETWEEN 1 AND 3 OR SHEER STRENGTH BETWEEN 30 GEOTEXTILE MUST MEET REQUIREMENTS OF SECTION AASHTO M288-06 SECTION 8, GEOTEXTILE PROPERTY REQUIREMENTS FOR SUBSURFACE DRAINAGE, SEPARATION, STABILIZATION, AND PERMANENT EROSION CONTROL (GEOTEXTILE PROPERTY REQUIREMENTS).



DESIGN CRITERIA:

DIVERSION LOCATION SHALL BE DETERMINED BY CONSIDERING OUTLET CONDITIONS, TOPOGRAPHY, LAND USE, SOIL TYPE, LENGTH OF SLOPE, SEEP PLANES (WHEN SEEPAGE IS A PROBLEM), AND THE DEVELOPMENT LAYOUT. DIVERSIONS SHOULD BE TAILORED TO FIT THE CONDITIONS FOR A PARTICULAR FIELD AND LOCAL SOIL TYPE(S). A DIVERSION CONSISTS OF TWO COMPONENTS THAT MUST BE DESIGNED - THE RIDGE AND THE CHANNEL

RIDGE DESIGN: THE RIDGE SHALL BE COMPACTED AND DESIGNED TO HAVE STABLE SIDE SLOPES, WHICH SHALL NOT BE STEEPER THAN 2:1. THE RIDGE SHALL BE A MINIMUM WIDTH OF FOUR FEET AT THE DESIGN WATER ELEVATION AFTER SETTLEMENT. ITS DESIGN SHALL ALLOW TEN PERCENT

CHANNEL DESIGN: LAND SLOPE MUST BE TAKEN INTO CONSIDERATION WHEN CHOOSING CHANNEL DIMENSIONS. ON THE STEEPER SLOPES, NARROW AND DEEP CHANNELS MAY BE REQUIRED. ON THE MORE GENTLE SLOPES, BROAD, SHALLOW CHANNELS USUALLY ARE APPLICABLE. THE WIDE, SHALLOW

SECTION WILL BE EASIER TO MAINTAIN. SINCE SEDIMENT DEPOSITION IS OFTEN A PROBLEM IN

DIVERSIONS, THE DESIGNED FLOW VELOCITY SHOULD BE KEPT AS HIGH AS THE CHANNEL LINING WILL PERMIT. TABLE 6-13.1 INDICATES THE STORM FREQUENCY REQUIRED FOR THE DESIGN OF THE DIVERSION. THE REQUIRED STORM FREQUENCY IS BASED ON THE PURPOSE OF THE DIVERSION. THE STORM FREQUENCY IS USED TO DETERMINE THE REQUIRED CHANNEL CAPACITY, Q (PEAK RATE OF RUNOFF).

THE CHANNEL PORTION OF THE DIVERSION MAY HAVE A PARABLIC OR TAPEZOIDAL CROSS-SECTION. DETAILED INFORMATION FOR THE DESIGN OF THESE CHANNELS IS PROVIDED IN THE SPECIFICATION WI - STORMWATER CONVEYANCE CHANNEL. OUTLETS:

EACH DIVERSION MUST HAVE AND ADEQUATE OUTLET. THE OUTLET MAY BE A CONSTRUCTED OR NATURAL WATERWAY, A STABILIZED VEGETATED AREA OR A STABILIZED OPEN CHANNEL. IN ALL CASES, THE OUTLET MUST DISCHARGE IN SUCH A MANNER AS TO NOT CAUSE AN EROSION PROBLEM. PROTECTED OUTLETS SHALL BE CONSTRUCTED AND STABILIZED PRIOR TO CONSTRUCTION OF THE DIVERSION. STABILIZATION:

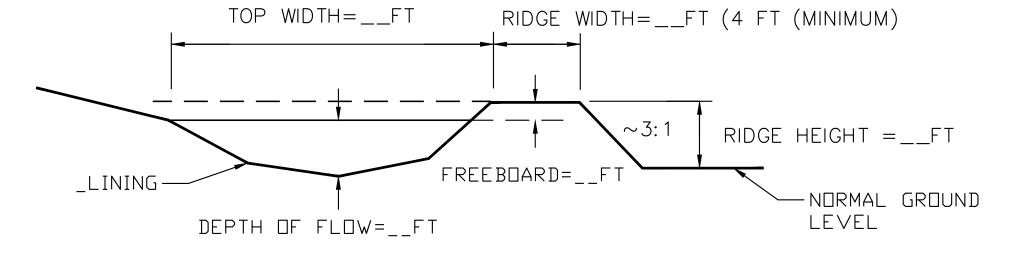
DIVERSION CHANNELS SHALL BE STABILIZED IN ACCORDANCE WITH ITEM 5 OF THE CONSTRUCTION SPECIFICATIONS. Ch-CHANNEL STABILZATION DIVERSIONS FOR ROADS AND UTILITY RIGHTS-OF-WAY:

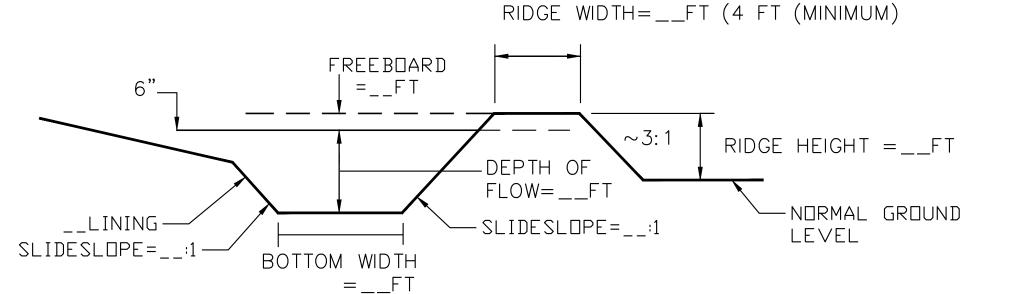
A DETAILED DESIGN IS NOT REQUIRED FOR THIS TYPE OF DIVERSION. DIVERSIONS INSTALLED TO DIVERT WATER OFF A ROAD OR RIGHT-OF-WAY SHALL CONSIST OF A SERIES OF COMPACTED RIDGES OF SOIL RUNNING DIAGONALLY ACROSS THE ROAD AT A 30° ANGLE. RIDGES ARE CONSTRUCTED BY EXCAVATING A CHANNEL UP-STREAM FOR THIS TYPE OF DIVERSION.

THE COMPACTED RIDGE HEIGHT SHALL BE 8-12" ABOVE THE ORIGINAL ROAD SURFACE; THE CHANNEL DEPTH SHALL BE 8-12" BELOW THE ORIGINAL ROAD SURFACE. CHANNEL BOTTOMS AND RIDGE TOPS SHALL BE SMOOTH ENOUGH TO BE CROSSED BY VEHICULAR TRAFFIC. THE MAXIMUM SPACING BETWEEN DIVERSIONS SHALL BE AS FOLLOWS:

ROAD GRADE (PERCENT)	DISTANCE BETWEEN DIVERSIONS (FEET)
1	400
5	250 125
10	80
15 20	60 50

STABLE OUTLETS SHALL BE PROVIDED FOR EACH DIVERSION.





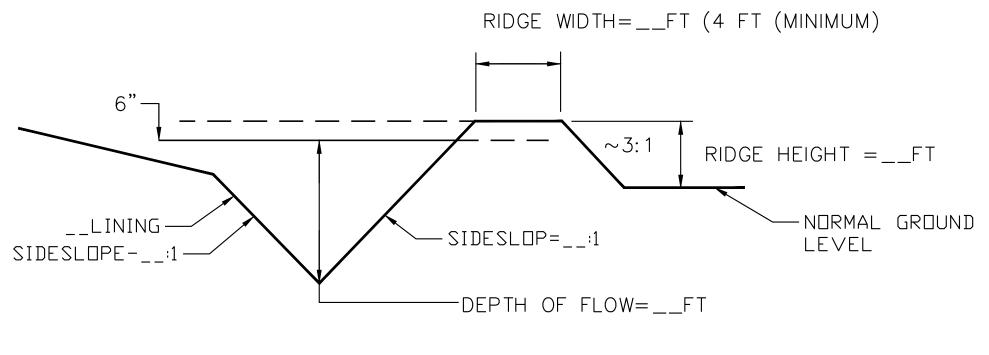




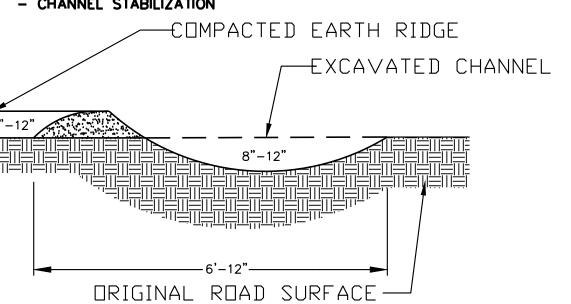
TABLE 6-17.1. DIVERSION DESIGN CRITERIA

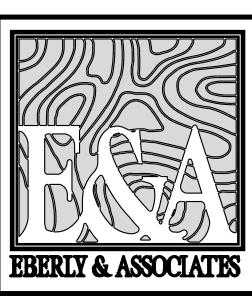
DIVERSION TYPE	LAND OR IMPROVEMENT PROTECTED	STORM FREQENCY ¹	STORM FREQUENCY	MINIMUM TOP WIDTH
TEMPORARY	CONSTRUCTION AREAS BUILDING SITES	10 YRS ²	0.3'	4'
DEDMANIENT	LANDSCAPED, RECREATION AND SIMILAR AREAS	25 YRS	0.3'	4'
PERMANENT	DWELLINGS, SCHOOLS, COMMERCIAL BLDGS., AND SIMILAR INSTALLATIONS	50 YRS	0.5'	4'

USE 24-HR STORM DURATION 2. USE 10 YRS OR THE STORM FOR THE STORM FREQUENCY SPECIFIED IN TITLE 12 OF THE OFFICIAL CODE OF GEORGIA ANNOTATED

SPECIFICATIONS:

- 1. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER
- FUNCTIONING OF THE DIVERSION. 2. THE DIVERSION SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS
- SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND FREE OF IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
- 3. ALL FILLS SHALL BE MACHINE COMPACTED AS NEEDED TO PREVENT UNEQUAL SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETED DIVERSION.
- 4. ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE SPREAD OR DISPOSED OF SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE
- 5. DIVERSION CHANNEL SHALL BE STABILIZED IN ACCORDANCE WITH SPECIFICATION Ch - CHANNEL STABILIZATION





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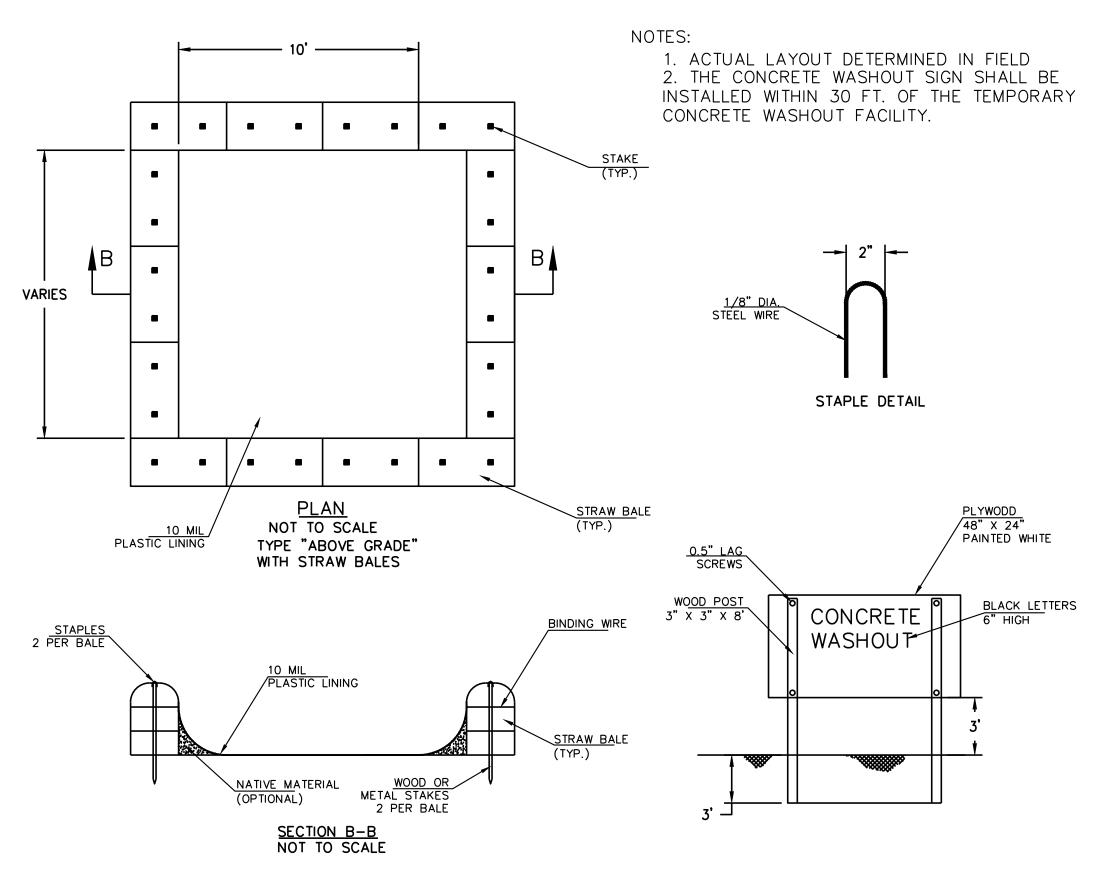
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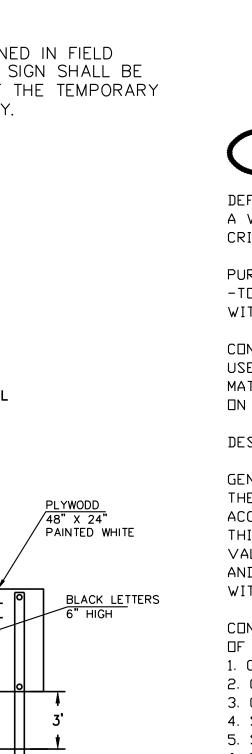
WESLEY S. REED LEVEL II CERTIFIED DESIGN PROFESSIONAL CERTIFICATION NUMBER 0000073044 ISSUED: 01/22/2021 EXPIRES: 01/22/2024

EC5.0



CONCRETE WASTE MANAGEMENT

NOT TO SCALE



RETAINING WALL

A WALL CONSTRUCTED OF ONE OR MORE OF THE FOLLOWING: CONCRETE MASONRY, REINFORCED CONCRETE CRIBBING, TREATED TIMBERS, STEEL PILINGS, GABIONS, STONE DRYWALL, ROCK RIPRAP, ETC.

-TO ASSIST IN THE STABILIZATION OF CUT OR FILL SLOPES WHERE STABLE SLOPES ARE NOT ATTAINED WITHOUT THE USE OF THE WALL

USE IN CONJUNCTION WITH CUT OR FILL SLOPES THAT, BECAUSE OF SPACE LIMITATIONS OR UNSTABLE MATERIAL, DO NOT ALLOW THE STABLE SLOPE CRITERIA LISTED ABOUT, E.G. CUTS INTO STEEP HILLSIDES ON SMALL LOTS OR CUTS INTO HILLSIDES BEHIND SHOPPING CENTERS TO PROVIDE LOADING SPACE. DESIGN CRITERIA:

THE DESIGN OF A RETAINING WALL IS A COMPLICATED PROCESS. MANY FACTORS MUST BE TAKEN INTO ACCOUNT SUCH AS: STRESSES AND FORCES OUTSIDE AND WITHIN THE WALL, ALLOWABLE HEIGHT, MINIMUM THICKNESS. OTHER CONSIDERATIONS ARE: FOUNDATION DESIGN WITH RESPECT TO LOADINGS, BEARING VALUES OF SOILS, FOOTING DIMENSIONS. ADDITIONAL DESIGN FACTORS ARE SAFETY HAZARDS, SUBSURFACE AND SURFACE DRAINAGE AND APPEARANCE. EACH SITUATION REQUIRES A SPECIFIC DESIGN WHICH IS WITHIN THE CAPABILITIES OF THE DESIGN ENGINEER.

CONSIDERATION SHOULD BE GIVEN TO ALL OF THE ALTERNATIVE METHODS WITH REGARD TO CONSTRUCTION OF THE WALL. SOME METHODS ARE:

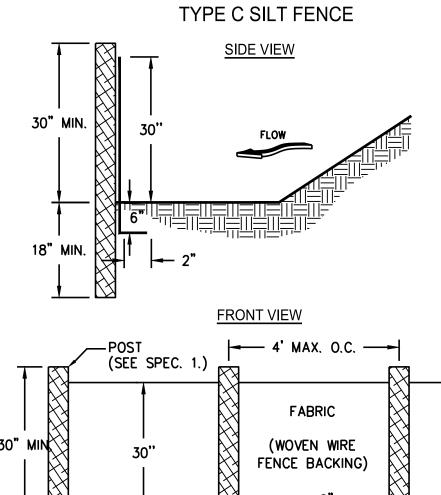
1. CONCRETE MASONRY 2. CONCRETE CRIBBING

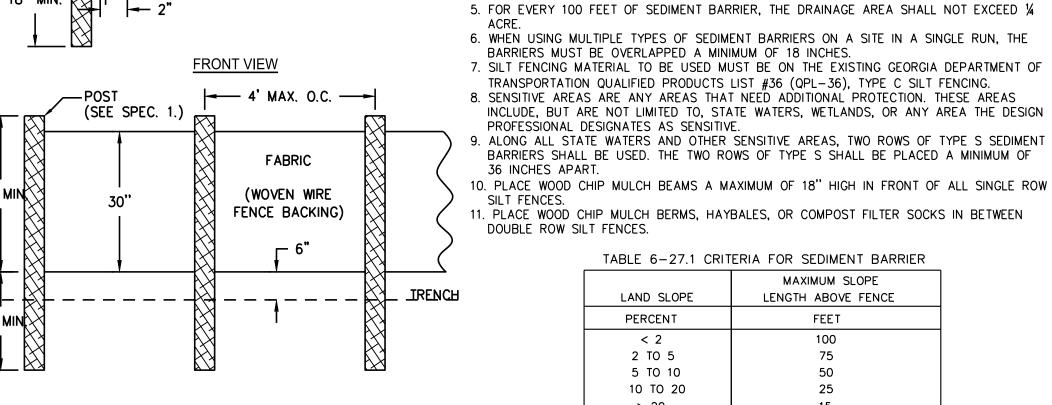
3. GABIONS 4. STEEL PILING

5. STONE DRYWALL

6. ROCK RIPRAP, ETC. 7. TREATED TIMBERS

8. GEOTEXTILE WRAPPED-FACE WALL 9. GEOTEXTILE REINFORCED STEEP SLOPES





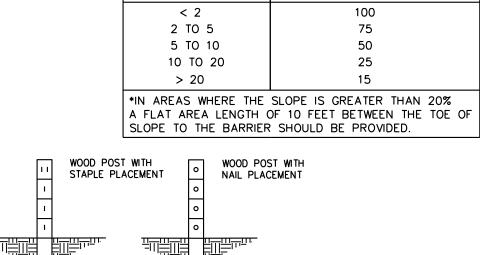
BEGINNING OF FABRIC FENCE

PLAN - OVERLAP AT FABRIC ENDS

THE FABRIC AND WIRE SHOULD BE SECURELY FASTENED TO POSTS AND FABRIC ENDS MUST BE OVERLAPPED A MINIMUM OF 18" OR WRAPPED TOGETHER AROUND A POST

TO PROVIDE A CONTINUOUS FABRIC BARRIER.

ALL MEMBERS -



FRONT VIEWS - NOT TO SCALE

SEDIMENTATION, AND POLLUTION CONTROL PLAN.

NOTES::

1. SEDIMENT BARRIERS SHALL BE INSTALLED WHERE RUNOFF CAN BE STORED BEHIND THE BARRIER WITHOUT DAMAGING THE SUBMERGED AREA BEHIND THE BARRIER OF THE

3. SEDIMENT BARRIERS SHALL NOT BE INSTALLED ACROSS STREAMS, DITCHES, WATERWAYS

4. WHERE ALL RUNOFF IS TO BE STORED BEHIND THE SEDIMENT BARRIER (WHERE NO STORM

WATER DISPOSAL SYSTEM IS PRESENT), MAXIMUM CONTINUOUS SLOPE LENGTH BEHIND A

SEDIMENT BARRIER. FOR LONGER SLOPE LENGTHS, SLOPE INTERRUPTERS MUST BE USED.

TABLE 6-27.1 CRITERIA FOR SEDIMENT BARRIER

MAXIMUM SLOPE

LENGTH ABOVE FENCE

SEDIMENT BARRIER SHALL NOT EXCEED THOSE SHOWN IN TABLE 6-27.1 CRITERIA FOR

VERTICAL HEIGHT OF 10 FEET.

STRUCTURE ITSELF.

OR OTHER CONCENTRATED FLOW AREAS.

SPECIFICATIONS:

1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, MAINTENANCE: SEDIMENT SHALL BE REMOVED ONCE IT HAS ACCUMULATED TO ONE-HALF . THE SILT FENCE SHALL BE 36 INCHES WIDE WITH WIRE REINFORCEMENT 3. TYPE C SILT FENCE SHALL BE USED WHERE RUNOFF FLOWS OR VELOCITIES ARE PARTICULARLY HIGH OR WHERE SLOPES EXCEED A

THE ORIGINAL HEIGHT OF THE BARRIER. SEDIMENT BARRIERS SHALL BE REPLACED WHENEVER THEY HAVE

DETERIORATED TO SUCH AN EXTENT THAT THE EFFECTIVENESS OF THE PRODUCT IS REDUCED (APPROXIMATELY SIX MONTHS) OR THE HEIGHT OF THE PRODUCT IS NOT MAINTAINING 80% OF ITS PROPERLY INSTALLED TEMPORARY SEDIMENT BARRIERS SHALL REMAIN IN PLACE UNTIL

DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. ALL SEDIMENT

ACCUMULATED AT THE BARRIER SHALL BE REMOVED AND PROPERLY

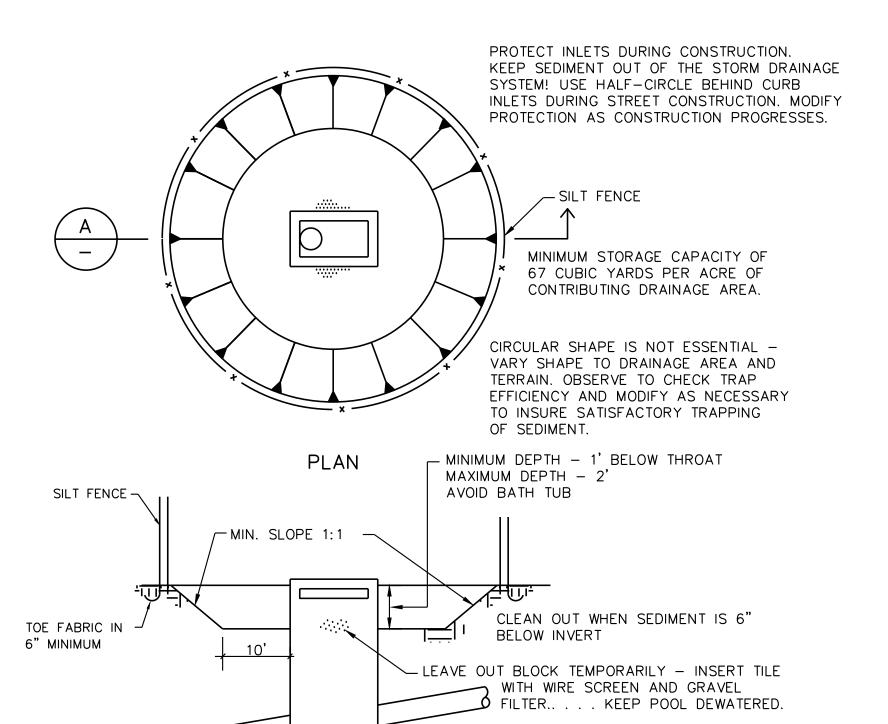
TAE	BLE 6-	27.2 P	OST SIZE
TYPE	MIN LENGTH	TYPE OF POST	SIZE OF POST
s	4'	STEEL OAK	1,15-1,25 LB./ FT, MIN 2"X2"

DISPOSED OF BEFORE THE BARRIER IS REMOVED.

TABLE 6-27.3 FASTENERS FOR WOOD POSTS						
	GAUGE	LEGS	STAPLES / POST			
WIRE STAPLES	17 MIN.	3/4" WIDE	1/2" LONG	5 MIN.		
	GAUGE.	LENGTH	BUTTON HEADS	NAIL/ POST		
NAILS	14 MIN.	1"	3/4"	4 MIN.		
NOTE: FILTER FABRIC MAY ALSO BE ATTACHED TO THE POST BY WIRE, CORDS, AND POCKETS.						

TARIE 6-27 /

TABLE 6-27.4	
TYPE FENCE TENSILE STRENGTH (LBS. MIN.) (ASTM D-4632)	<u>C</u> WARP-260 FILL-180
ELONGATION (%MAX) ASTM D-4632)	40
AOS (APPARENT OPENING SIZE) (MAX SIEVE SIZE) (ASTM D 4751)	#30
FLOW RATE (GAL/MIN/SQ.FT.) (GDT-87)	70
UTLRAVIOLET STABILITY (ASTM D-4632 AFTER 300 HOURS WEATHERING IN ACCORDANCE WITH ASTM D-4355)	80
BURSTING STRENGTH (PSI MIN.) (ASTM D-3786 DIAPHRAGM BURSTING STRENGTH TESTER)	175
MINIMUM FABRIC WIDTH (INCHES)	36



EXCAVATED INLET SEDIMENT TRAP

AN EXCAVATION MAY BE CREATED AROUND THE INLET SEDIMENT TRAP TO PROVIDE ADDITIONAL SEDIMENT STORAGE. THE TRAP SHALL BE SIZED TO PROVIDE A MINIMUM STORAGE CAPACITY AT THE RATE OF 67 CUBIC YARDS PER ACRE OF DRAINAGE AREA. A MINIMUM DEPTH OF 1.5 FEET FOR SEDIMENT STORAGE SHOULD BE PROVIDED. SIDE SLOPES SHALL NOT BE STEEPER THEN 2:1.

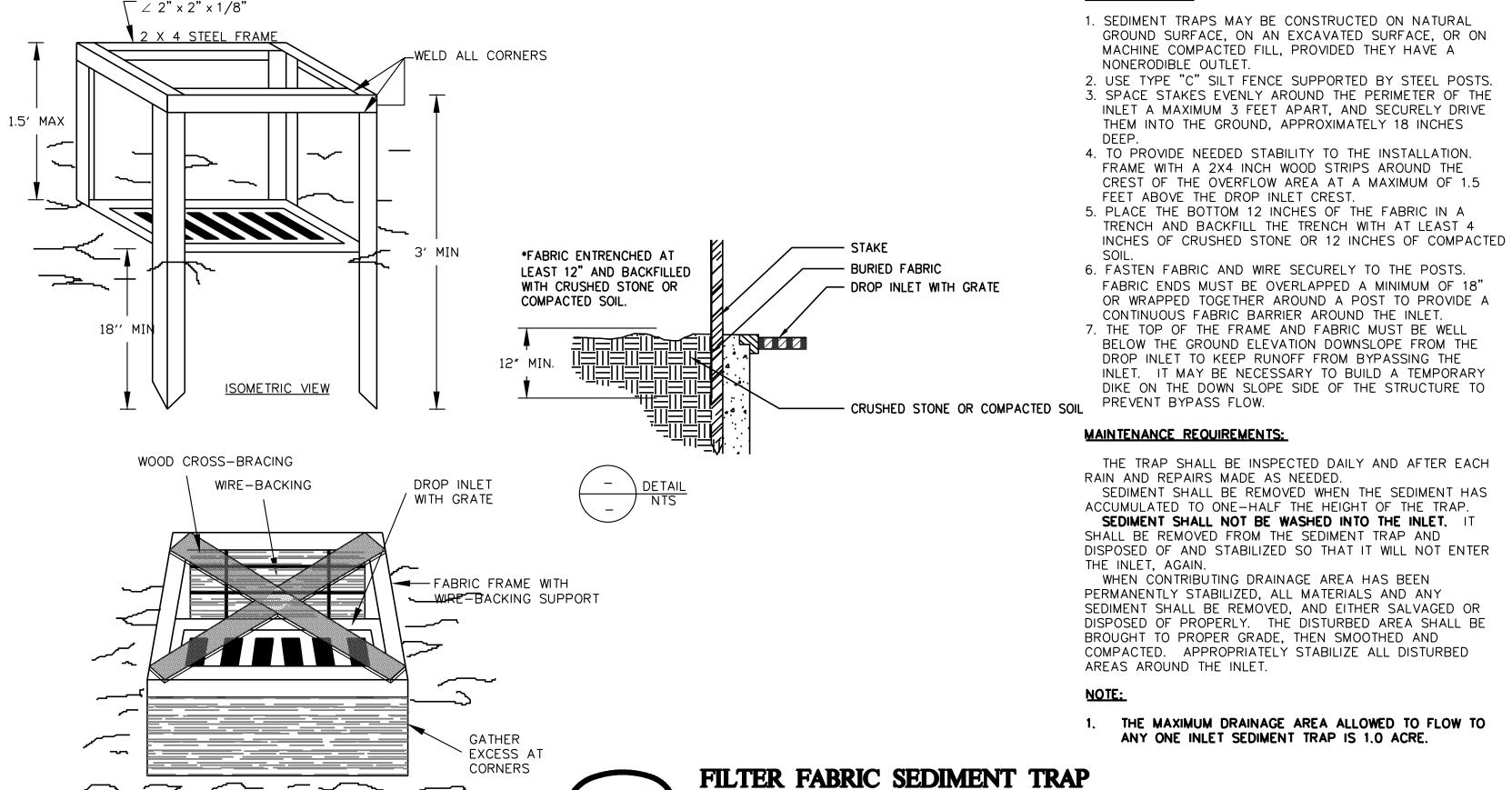
MAINTENANCE REQUIREMENTS:

THE TRAP SHALL BE INSPECTED DAILY AND AFTER EACH RAIN AND REPAIRS MADE AS NEEDED. SEDIMENT SHALL BE REMOVED WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE HEIGHT OF THE TRAP. FOR EXCAVATED INLET SEDIMENT TRAPS, SEDIMENT SHALL BE REMOVED WHEN ONE-HALF OF THE SEDIMENT STORAGE CAPACITY HAS BEEN LOST TO SEDIMENT ACCUMULATION. SEDIMENT SHALL NOT BE WASHED INTO THE INLET. IT SHALL BE

REMOVED FROM THE SEDIMENT TRAP AND DISPOSED OF AND STABILIZED SO THAT IT WILL NOT ENTER THE INLET, AGAIN. WHEN CONTRIBUTING DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED, ALL MATERIALS AND ANY SEDIMENT SHALL BE REMOVED, AND EITHER SALVAGED OR DISPOSED OF PROPERLY. THE DISTURBED AREA SHALL BE BROUGHT TO PROPER GRADE, THEN SMOOTHED AND COMPACTED. APPROPRIATELY STABILIZE ALL DISTURBED AREAS AROUND THE INLET.

EXCAVATED INLET SEDIMENT TRAP

1. THE MAXIMUM DRAINAGE AREA ALLOWED TO FLOW TO ANY ONE INLET SEDIMENT TRAP IS 1.0 ACRE.



SPECIFICATIONS:

Sd1-S SILT FENCE TYPE SENSITIVE

1. SEDIMENT TRAPS MAY BE CONSTRUCTED ON NATURAL GROUND SURFACE, ON AN EXCAVATED SURFACE, OR ON MACHINE COMPACTED FILL, PROVIDED THEY HAVE A NONERODIBLE OUTLET.

2. USE TYPE "C" SILT FENCE SUPPORTED BY STEEL POSTS. 3. SPACE STAKES EVENLY AROUND THE PERIMETER OF THE INLET A MAXIMUM 3 FEET APART, AND SECURELY DRIVE THEM INTO THE GROUND, APPROXIMATELY 18 INCHES

4. TO PROVIDE NEEDED STABILITY TO THE INSTALLATION. FRAME WITH A 2X4 INCH WOOD STRIPS AROUND THE CREST OF THE OVERFLOW AREA AT A MAXIMUM OF 1.5 FEET ABOVE THE DROP INLET CREST. 5. PLACE THE BOTTOM 12 INCHES OF THE FABRIC IN A TRENCH AND BACKFILL THE TRENCH WITH AT LEAST 4

6. FASTEN FABRIC AND WIRE SECURELY TO THE POSTS. FABRIC ENDS MUST BE OVERLAPPED A MINIMUM OF 18" OR WRAPPED TOGETHER AROUND A POST TO PROVIDE A CONTINUOUS FABRIC BARRIER AROUND THE INLET. 7. THE TOP OF THE FRAME AND FABRIC MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE FROM THE DROP INLET TO KEEP RUNOFF FROM BYPASSING THE INLET. IT MAY BE NECESSARY TO BUILD A TEMPORARY DIKE ON THE DOWN SLOPE SIDE OF THE STRUCTURE TO

MAINTENANCE REQUIREMENTS:

THE TRAP SHALL BE INSPECTED DAILY AND AFTER EACH RAIN AND REPAIRS MADE AS NEEDED. SEDIMENT SHALL BE REMOVED WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE HEIGHT OF THE TRAP. SEDIMENT SHALL NOT BE WASHED INTO THE INLET. IT SHALL BE REMOVED FROM THE SEDIMENT TRAP AND DISPOSED OF AND STABILIZED SO THAT IT WILL NOT ENTER

THE INLET, AGAIN. WHEN CONTRIBUTING DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED, ALL MATERIALS AND ANY SEDIMENT SHALL BE REMOVED, AND EITHER SALVAGED OR DISPOSED OF PROPERLY. THE DISTURBED AREA SHALL BE BROUGHT TO PROPER GRADE, THEN SMOOTHED AND COMPACTED. APPROPRIATELY STABILIZE ALL DISTURBED AREAS AROUND THE INLET.

THE MAXIMUM DRAINAGE AREA ALLOWED TO FLOW TO ANY ONE INLET SEDIMENT TRAP IS 1.0 ACRE.

WESLEY S. REED LEVEL II CERTIFIED DESIGN PROFESSIONAL

CERTIFICATION NUMBER 0000073044 ISSUED: 01/22/2021 EXPIRES: 01/22/2024

EBERLY & ASSOCIATES TEL770.452.7849 FAX770.452.0086

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BELOW STORM DRAIN OUTLETS.

SKIMMER PERSPECTIVE

SKIMMER SIDE SECTION VIEW

72 | FAIRCLOTH

— 4' X 4' RIPRAP

SIZE (IN)

WATER SURFACE

— PCV PIPE WITH HOLES

WIDTH LENGTH WIDTH

120

100

NOTE: ON POND OUTLET STRUCTURES SKIMMER TO BE ATTACHED TO LOWEST ORIFICE

262

LENGTH | WIDTH | LENGTH | WIDTH | DEPTH (FT) | TIME TO | MANUFACTURER |

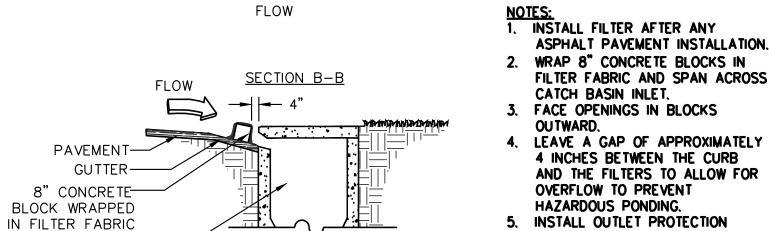
22

80 | 12 | 72 | FAIRCLOTH

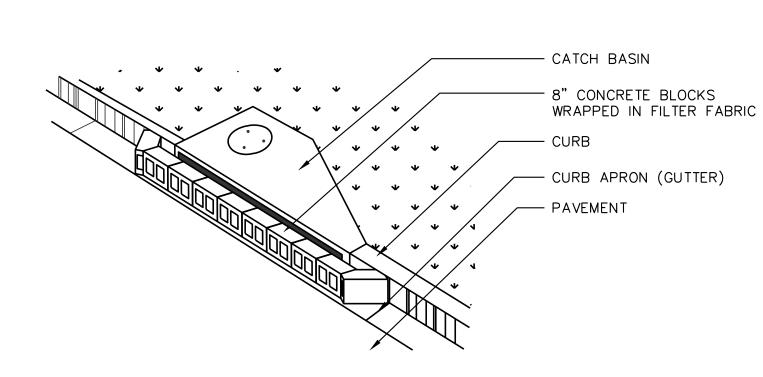
66

in underside.

PVC PIPE ---



CATCH BASIN-



SKIMMER CONFIGURATION SHOWN IS

MAY SUBMIT AN ALTERNATE SKIMMER

SKIMMER FRONTAL SECTION VIEW

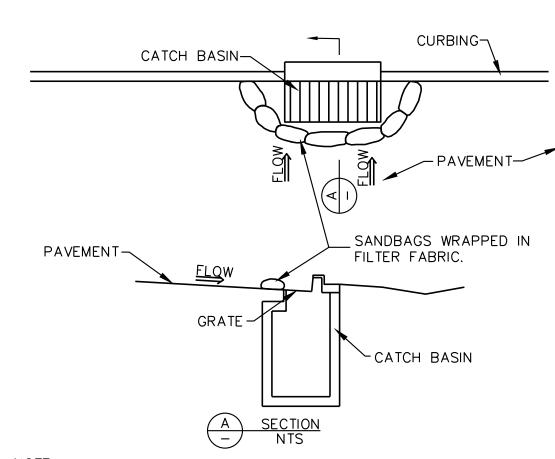
TYPICAL. THE DESIGNER/ENGINEER

DETAIL FOR REVIEW.

EX POND 1 |262867| 280 |

POND 1 |134140| 300 | 160

OPTION B: SAND OR ROCK BAGS



1.) INSTALL FILTER AFTER ANY ASPHALT PAVEMENT INSTALLATION. 2.) ADJUST THE NUMBER OF SANDBAGS LAID ON THEIR SIDE TO CONTROL FLOW THROUGH RATE.

CURB INLET PROTECTION:

ONCE PAVEMENT HAS BEEN INSTALLED, A CURB INLET FILTER SHALL BE INSTALLED ON INLETS RECEIVING RUNOFF FROM DISTURBED AREAS. THIS METHOD OF INLET PROTECTION SHALL BE REMOVED IF A SAFETY HAZARD IS

ONE METHOD OF CURB INLET PROTECTION USES "PIGS-IN-A-BLANKET" 8-INCH CONCRETE BLOCKS WRAPPED IN FILTER FABRIC. ANOTHER METHOD USES SAND OR GRAVEL BAGS CONSTRUCTED BY WRAPPING DOT #57 STONE WITH FILTER FABRIC, WIRE, PLASTIC MESH, OR EQUIVALENT MATERIAL. A GAP OF APPROXIMATELY 4 INCHES SHALL BE LEFT BETWEEN THE INLET FILTER AND THE INLET TO ALLOW FOR OVERFLOW AND PREVENT HAZARDOUS PONDING IN THE ROADWAY. PROPER INSTALLATION AND MAINTENANCE ARE CRUCIAL DUE TO POSSIBLE PONDING IN THE ROADWAY, RESULTING IN A HAZARDOUS CONDITION.

MAINTENANCE REQUIREMENTS:

THE TRAP SHALL BE INSPECTED DAILY AND AFTER EACH RAIN AND REPAIRS MADE AS NEEDED. SEDIMENT SHALL BE REMOVED WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE HEIGHT OF THE TRAP. SEDIMENT SHALL BE REMOVED FROM CURB INLET PROTECTION IMMEDIATELY. SEDIMENT SHALL NOT BE WASHED INTO THE INLET. IT SHALL BE REMOVED FROM THE SEDIMENT TRAP AND DISPOSED OF AND STABILIZED SO THAT IT WILL NOT ENTER THE INLET, AGAIN. WHEN CONTRIBUTING DRAINAGE AREA HAS BEEN PERMANENTELY STABILIZED, ALL MATERIALS AND ANY SEDIMENT SHALL BE REMOVED, AND EITHER SALVAGED OR DISPOSED OF PROPERLY. THE DISTURBED AREA SHALL BE BROUGHT TO PROPER GRADE. THEN SMOOTHED AND COMPACTED.

INSPECT FLOATING SKIMMERS TOGETHER WITH THE SEDIMENT BASIN INSPECTIONS.

OR EXCESSIVE SEDIMENT ACCUMULATION.

REMOVE SEDIMENT FROM THE SKIMMER PIT.

APPROPRIATE MATERIALS.

BARREL DISCHARGE POINT.

VISIBLE ABOVE THE WATER SURFACE AT ALL TIMES.

ACCUMULATED SEDIMENT DO NOT REQUIRE A SKIMMER PIT.

OF THE MAINTENANCE ROPE.

INSPECT THE FLOATING SURFACE SKIMMER FOR ANY STRUCTURAL DAMAGE, CLOGGING,

WHILE DRAINING THE BASIN, THE TRASH GUARD OF THE SKIMMER MAY CLOG WITH

SKIMMER OF DEBRIS AND RESTORE FLOW. IF JERKING THE MAINTENANCE ROPE DOES

NOT WORK, PULL THE SKIMMER TO THE EMBANKMENT WITH THE MAINTENANCE ROPE

AND MANUALLY REMOVE ALL DEBRIS FROM THE TRASH GUARD. AN INTERNAL CLOG OR

IF THE SKIMMER BECOMES STUCK IN THE MUD AT THE BOTTOM OF THE BASIN IT MUST

BE FREED TO ALLOW FOR NORMAL OPERATION. THIS CAN TYPICALLY BE DONE BY USE

REMOVE SEDIMENT DEPOSITS FROM THE BASIN WHEN APPROXIMATELY ONE-THIRD OF

THE STORAGE VOLUME HAS BEEN LOST TO SEDIMENT ACCUMULATION OR WHEN THE

OF PULL THE SKIMMER TO A SIDE EMBANKMENT USING THE MAINTENANCE ROPE AND

1. FLOATING SURFACE SKIMMERS THAT SINK OR COMPLETELY SUSPEND UNDER THE

2. ALL FLOATING SURFACE SKIMMERS INCLUDE A TRASH GUARD AND MAINTENANCE

3. ALL FLOATING SURFACE SKIMMERS SHALL INCLUDE A SKIMMER PIT. EXCAVATE A

ROPE IN ORDER TO PREVENT AND REMOVE BLOCKAGE FROM FLOATING DEBRIS.

SHALLOW PIT FILLED WITH RIPRAP UNDER THE FLOATING SURFACE SKIMMER TO

ACCOUNT FOR SEDIMENT THAT ACCUMULATES ON THE SEDIMENT BASIN BOTTOM

AROUND THE SKIMMER. THE PIT MUST HAVE MINIMUM DIMENSIONS OF 4 FT. X 4

FT. WITH A MINIMUM DEPTH OF 2 FT. ENSURE THE BOTTOM OF THE PIT IS LOWER THAN THE INVERT OF THE OUTLET BARREL FROM THE RISER, FLOATING SKIMMERS

THAT HAVE A FOOTED DESIGN THAT PREVENTS THE DEVICE FROM LODGING IN

4. USE FLOATING SKIMMERS MADE OF PVC (SCHEDULE 40 OR GREATER) OR OTHER

5. INSTALL THE DEVICE ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.

6. A STORM DRAIN OUTLET PROTECTION DEVICE SHALL BE INSTALLED AT THE

WATER SURFACE ARE NOT ACCEPTABLE. A PORTION OF THE SKIMMER MUST BE

FLOATING SKIMMER CANNOT SETTLE LOW ENOUGH TO DRAIN THE ENTIRE BASIN. REMOVE

DEBRIS. TYPICALLY, A FEW JERKS ON THE MAINTENANCE ROPE WILL CLEAR THE

BLOCKAGE MAY REQUIRE THE DEVICE TO BE DISASSEMBLED AND REPAIRED.

THE MAXIMUM DRAINAGE AREA ALLOWED TO FLOW TO ANY ONE INLET SEDIMENT TRAP IS 1,0 ACRE.

APPROPRIATELY STABILIZE ALL DISTURBED AREAS AROUND THE INLET.

ROCK OUTLET — EXCAVATED MATERIAL WILL INCREASE FIRMLY "KEY" EMBANKMENT ---STORAGE VOLUME AND PROVIDE FILL INTO NATURAL GROUND MATERIAL TOP OF BERM -RECOMMENDED MINIMUM RATIO OF LENGTH-TO-WIDTH (L: W) IS 2:1 MINIMUM TOP WIDTH ~3' ---MAXIMUM SLOPES 2:1 -EMERGENCY ----SPILLWAY CROSS-SECTION OF CLEANOUT STAKE (MIN. DEPTH = 1.5') CLEANOUT VOLUME STAKE CROSS-SECTION MINIMUM TOP WIDTH = EMBANKMENT 3-5 LB FILTER STONE — HEIGHT (3 FOOT MINIMUM) MINIMUM DISTANCE 1.5' TO SPILLWAY INVERT-MAXIMUM DEPTH (67 CUBIC YARDS PER ACRE) GEDTEXTILE FABRIC (KEYED INTO GROUND) ADDITIONAL VOLUME FOR -SILT STORAGE (OPTIONAL) CLEANOUT ---VOLUME STAKE PROFILE THROUGH EMBANKMENT NOTE: CLEANOUT VOLUME SHALL BE MARKED - MAXIMUM SLOPE 2:1 WITH CLEANOUT STAKE AT THE OUTLET OF THE

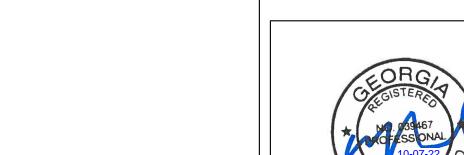
TYPICAL WIDTH = 3 FEET

SPECIFICATIONS:

1. THE ROCK OUTLET RELIES ON FILTERING THROUGH LAYERS OF AGGREGATE, ROCK OR RIPRAP MATERIAL TO DEWATER THE SEDIMENT

- 2. THE EMERGENCY OVERFLOW OUTLET OF A TEMPORARY SEDIMENT TRAP MUST BE STABILIZED WITH ROCK, GEOTEXTILE. VEGETATION, OR ANOTHER SUITABLE MATERIAL
- THAT IS RESISTANT TO EROSION. 3. EMBANKMENT HEIGHT SHALL NOT EXCEED 5.5 4. TOP WIDTH OF AN EMBANKMENT SHALL BE AT
- LEAST AS WIDE AS THE HEIGHT OF THE SEDIMENT TRAP EMBANKMENT. 5. MAXIMUM POND DEPTH OF A SEDIMENT TRAP IS 4 FEET MEASURED FROM THE BOTTOM OF THE TRAP TO THE INVERT OF THE EMERGENCY
- 6. SLOPES SHALL NOT EXCEED 2:1. THE LENGTH TO WIDTH RATIO MUST BE GREATER THAN 2:1. 8. CLEANOUT SEDIMENT TRAP ONCE SEDIMENT

REACHES & STORAGE VOLUME.



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EBERLY & ASSOCIATES

TEL770.452.7849 FAX770.452.0086

2951 FLOWERS ROAD SOUTH, STE 119

ATLANTA, GEORGIA 30341

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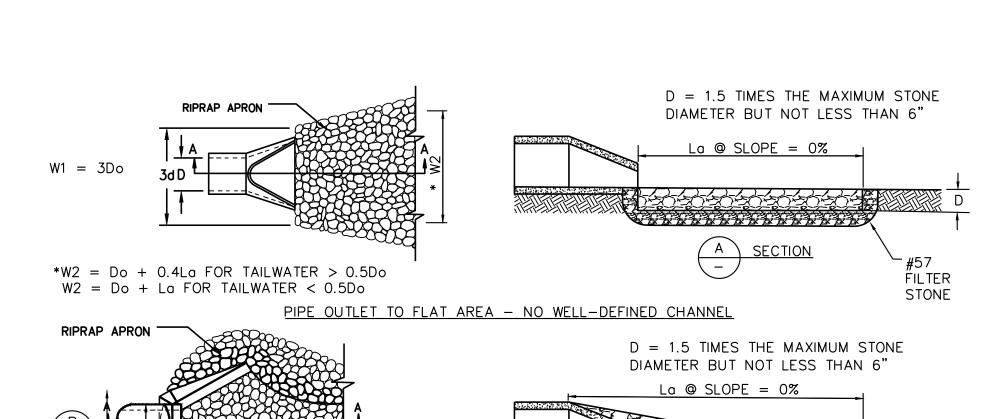
LAND PLANNING

CIVIL ENGINEERING

LANDSCAPE ARCHITECTURE

TEMPORARY SEDIMENT TRAP

CURB INLET PROTECTION



TYPICAL RIPRAP DEPTH FOR -

GEOTEXTILE FABRIC BETWEEN

6" LAYERS

SOIL AND RIPRAP

OVERFLOW WEIR = 2 FEET

COMPACT FILL IN MAXIMUM

NATURAL GROUND

DRAINAGE OUTLET PIPE

TOP OF THE BANK, WHICHEVER IS LESS.

*IN A WELL-DEFINED CHANNEL, EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6" ABOVE THE MAXIMUM TAILWATER DEPTH OR TO THE <u>AAAAAAAAAAA</u> FILTER

IN A WELL DEFINED CHANNEL, THE SIDE SLOPES OF

THE CHANNEL SHALL NOT BE STEEPER THAN 2:1. PIPE OUTLET TO WELL-DEFINED CHANNEL

DESIGN IS BASED ON THE 25 YEAR, 24 HOUR FREQUENCY STORM

STORM STRUCTURE	Do (in)	Q (cfs)	V (fps)	Tw (ft)	La (ft)	W1 (ft)	W2 (ft)	D (ft)	d50 (ft)

Sk FLOATING SURFACE SKIMMER

NOT TO SCALE

STORM DRAIN OUTLET PROTECTION

NOT TO SCALE

SPECIFICATIONS:

SEDIMENT TRAP.

1. ENSURE THAT THE SUBGRADE FOR THE FILTER AND RIPRAP FOLLOWS THE REQUIRED LINES AND GRADES SHOWN IN THE PLAN. COMPACT ANY FILL REQUIRED IN THE SUBGRADE TO THE DENSITY OF THE SURROUNDING UNDISTURBED MATERIAL. LOW AREAS IN THE SUBGRADE ON UNDISTURBEDD SOIL MAY ALSO BE FILLED BY

INCREASING THE RIPRAP THICKNESS.

THE RIPRAP AND GRAVEL FILTER MUST CONFORM TO THE SPECIFIED GRADING LIMITS SHOWN ON THE PLANS. GEOTEXTILE MUST MEET DESIGN REQUIREMENTS AND BE PROPERLY PROTECTED FROM PUNCHING OR TEARING DURING INSTALLATION. REPAIR ANY DAMAGE BY REMOVING THE RIPRAP AND PLACING ANOTHER PIECE OF FILTER FABRIC OVER THE DAMAGED AREA.

THE DAMAGE IS EXTENSIVE, REPLACE THE ENTIRE FILTER FABRIC. RIPRAP MAY BE PLACED BY EQUIPMENT, BUT TAKE CARE TO AVOID

ALL CONNECTING JOINTS SHOULD OVERLAP A MINIMUM OF 1 FT. IF

DAMAGING THE FILTER. 5. THE MINIMUM THICKNESS OF THE RIPRAP SHOULD BE 1.5 TIMES THE MAXIMUM STONE DIAMETER.

COSNTRUCT THE APRON ON ZERO GRADE WITH NO OVERFALL AT THE END. MAKE THE TOP OF THE RIPRAP AT THE DOWNSTREAM END LEVEL WITH THE RECEIVING AREA OR SLIGHTLY BELOW IT. 7. ENSURE THAT THE APRON IS PROPERLY ALIGNED WITH THE RECEIVING STREAM AND PREFERABLY STRAIGHT THROUGHOUT ITS LENGTH. IF A CURVE IS NEEDED TO FIT SITE CONDITIONS, PLACE

IT IN THE UPPER SECTION OF THE APRON. IMMEDIATELY AFTER CONSTRUCTION, STABILIZE ALL DISTURBED AREAS WITH VEGETATION.

STONE QUALITY - SELECT STONE FOR RIPRAP FROM FIELD STONE OR QUARRY STONE. THE STONE SHOULD BE HARD, ANGULAR, AND HIGHLY WEATHER-RESISTANT. THE SPECIFIC GRAVITY OF THE INDIVIDUAL STONES SHOULD BE AT LEAST 2.5.

10. FILTER - INSTALL A FILTER TO PREVENT SOIL MOVEMENT THROUGH THE OPENINGS IN THE RIPRAP. THE FILTER SHOULD CONSIST OF A GRADED LAYER OR A SYNTHETIC FILTER CLOTH.

MAINTENANCE REQUIREMENTS:

INSPECT RIPRAP OUTLET STRUCTURE AFTER HEAVY RAINS TO SEE IF ANY EROSION AROUND OR BELOW THE RIPRAP HAS TAKEN PLACE OR IF STONES HAVE BEEN DISLODGED, IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.

1. La IS THE LENGTH OF THE RIPRAP APRON. 2. D = 1.5 TIMES THE MAXIMUM ATONE DIAMETER BUT NOT LESS

- 3. IN A WELL-DEFINED CHANNEL, EXTENDED THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6" ABOVE THE MAXIMUM TAILWATER DEPTH OR TO THE TOP OF THE BANK (WHICHEVER IS
- 4. A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIPRAP AND THE SOIL FOUNDATION.

PROJECT NO.

22-010

ISSUED FOR

CONSTRUCTION

CERTIFICATION NUMBER 0000073044 ISSUED: 01/22/2021 EXPIRES: 01/22/2024

WESLEY S. REED

LEVEL II CERTIFIED DESIGN PROFESSIONAL

EC5.2

FOR TEMPORARY PROTECTION OF CRITICAL AREAS WITHOUT SEEDING, THIS STANDARD APPLIEES TO GRADES OR CLEARED AREAS WHICH MAY BE SUBJECTED TO EROSION FOR 6 MONTHS OR LESS, WHERE SEEDING MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDANT COVER, BUT WHICH CAN BE STABLIZED WITH A MULCH COVER.

MATERIALS	RA	ATE	APPLICATION
DRY STRAW OR	P. HAY 2		APPLY UNIFORMLY BY HAND OR BY MECHANICAL EQUIPMENT. ANCHOR HAY DISK HARROW OR PACKER DISK OR WITH EMULSIFIED ASPHALT (GRADE AE-5 OR SS-1) AT A RATE OF 100 GAL PER 100 GAL OF WATER FOR EACH TON OF MULCH.
W□□D WASTE, □R BARK		INS PER ACRE S	ANCHOR WITH NETTING OF THE APPROPRIATE SIZE. OPENINGS IN THE NETTING SHALL NOT BE ARGER THAN THE AVERAGE SIZE OF THE WOOD WASTE CHIPS.
EROSION CONTR	MA		APPLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS
ASPHALT SPRA	Y (T-908-02) SE	E PROJECT SPECIFICATIONS	APPLY UNIFORMLY
POLYETHYLENE			ANCHOR TRENCH AT THE TOP OF SLOPE AS WELL AS INCREMENTALLY AS NECESSARY

MAINTENANCE REQUIREMENTS:

INSPECT ALL MULCHED AREAS ON A DAILY BASIS AND AFTER EACH RAINFALL EVENT, REGRADE ERODED AREAS AND REMULCH AREAS IN WHICH THE COVER IS NO LONGER GREATER THAN 90% CONTINUOUS.

TEMPORARY MULCHING

REFER TO THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" FOR FURTHER DETAILS AND SPECIFICATIONS

SPECIES	YEAR	ANALYSIS OR EQUIVALENT N-P-K	RATE	N TOP Dressing rate
COOL SEASON GRASSES	FIRST SECOND MAINTENANCE	6-12-12 6-12-12 10-10-10	1500 LBS./AC. 1000 LBS./AC. 400 LBS./AC.	50-100 LBS./AC. 1/2/ - 30
COOL SEASON GRASSES AND LEGUMES	FIRST SECOND MAINTENANCE	6-12-12 0-10-10 0-10-10	1500 LBS./AC. 1000 LBS./AC. 400 LBS./AC.	50-100 LBS./AC. 1/ - -
GROUND COVERS	FIRST SECOND MAINTENANCE	10-10-10 10-10-10 10-10-10	1300 LBS./AC. 3/ 1300 LBS./AC. 3/ 1100 LBS./AC.	- - -
PINE SEEDLINGS	FIRST	20-10-5	ONE 21-GRAM PELLET PER SEEDLING PLACED IN THE CLOSING HOLE	-
SHRUB LESPEDEZA	FIRST MAINTENANCE	0-10-10 0-10-10	700 LBS./AC. 700 LBS./AC. 4/	-
TEMPORARY COVER CROPS SEEDED ALONE	FIRST	10-10-10	500 LBS./AC.	30 LBS./AC. 5/
WARM SEASON GRASSES	FIRST SECOND MAINTENANCE	6-12-12 6-12-12 10-10-10	1500 LBS./AC. 800 LBS./AC. 400 LBS./AC.	50-100 LBS./AC. 2/6/ 50-100 LBS./AC. 2/ 30 LBS./AC.
WARM SEASON GRASSES AND LEGUMES	FIRST SECOND MAINTENANCE	6-12-12 0-10-10 0-10-10	1500 LBS./AC. 1000 LBS./AC. 400 LBS./AC.	50 LBS./AC. 6/

1/ APPLY IN SPRING FOLLOWING SEEDING. 2/ APPLY IN SPLIT APPLICATIONS WITH HIGH RATES ARE USED.

3/ APPLY IN 3 SPLIT APPLICATIONS.

4/ APPLY WHEN PLANTS ARE PRUNED. 5/ APPLY TO GRASS SPECIES ONLY.

6/ APPLY WHEN PLANTS GROW TO A HEIGHT OF 2 TO 4 INCHES.

FERTILIZER AND MULCHING <u>REQUIREMENTS</u>

REFER TO THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" FOR FURTHER DETAILS AND SPECIFICATIONS

PLANTS, PLANTING RATES, AND PLANTING RATES FOR TEMPORARY COVER OR COMPANION CROPS 1/

SPECIES	BROADCAST	S 2 / DIS 7 /	RESOURCE AREA 4/		Р	LAN	ΓING	DAT	ES					REMARKS
5. 25.25	PER ACRE	S 2/ - PLS 3/ PER 1000 S.F.	ANEA 4/	J	F	М	AN	1 J	J	Α	S	N	D	
BARLEY (Hardeum vulgare) ALONE	144 LBS.	3.3 LBS.	M-L P C							-		-	-	14,00 SEEDS PER POUND WINTERHARDY. USE ON PRODUCTIVE SOILS.
IN MIXTURES	24 LBS.	0.6 LBS.		J	F	М	A N	4 _	ı J	Α	S	N	D	
LESPEDEZA, ANNUAL (Lespedeza striata)			M-L											200,000 SEEDS PER POUND, MAY VOLUNTEER PER SEVERAL YEARS. USE INOCULANT EL.
ALONE IN MIXTURES	40 LBS. 10 LBS.	0.9 LBS. 0.2 LBS.	P C	J	F	_ М	A N	4 _	J J	Α	S	N	D	
LOVEGRASS, WEEPING (Erogrostis curvula)			M-L			1		$\frac{1}{2}$						1,500,000 SEEDS PER POUND. MAY LAST FOR SEVERAL YEARS. MIX WITH SERICEA LESPEDEZA
ÀLONE IN MIXTURES	4 LBS. 2 LBS.	0.1 LBS. 0.05 LBS.	P C	J	F	М	A 1	4 .	I J	Α	S	N	D	
MILLET, BROWNTOP (Panicum fasciculatum)	10.170		M-L											137,000 SEEDS PER POUND. QUICK DENSE COVER. WILL PROVIDE TOO MUCH COMPETITION IN
ALONE IN MIXTURES	40 LBS. 10 LBS.	0.9 LBS. 0.2 LBS.	P C	J	F	м	A 1	4	l J	A	S	N	D	MIXTURES IF SEEDED AT HIGH RATES.
MILLET, PEARL (Pennesetum glaucum)	EQ LDC	11100	M-L P											88,000 SEEDS PER POUND. QUICK, DENSE COVER. MAY REACH 5 FEET IN HEIGHT. NOT RECOMMENDED
ALONE IN MIXTURES	50 LBS.	1.1 LBS.	Ċ	J	F	м	A N	4 .	J J	Α	S	N	D	IN MIXTURES
OATS (Avena sativa)	120 LDC	2.0.105	M-L P											13,000 SEEDS PER POUND. USE ON PRODUCTIVE SOILS. NOT AS WINTERHARDY AS RYE OR BARLEY.
ALONE IN MIXTURES	128 LBS. 32 LBS.	2.9 LBS. 0.7 LBS.	Ċ	J	F	М	AN	4 _	ı J	А	S	N	D	
RYE (Secale cereale)	168 LBS.	3.9 LBS.	M-L P						-	_				18,000 SEEDS PER POUND. QUICK COVER. DROUGHT TOLERANT AND WINTERHARDY.
ALONE IN MIXTURES	28 LBS.	0.6 LBS.	Ċ	J	F	М	A 1	4 _	ı J	А	S	N	D	
RYEGRASS, ANNUAL (Lolium termulentum)	40 LBS.	0.9 LBS.	M-L P				_							227,000 SEEDS PER POUND. DENSE COVER. VERY COMPETITIVE AND IS <u>NOT</u> TO BE USED IN MIXTURES.
ALONE	40 LB3.	0.9 EB3.	C	J	F	М	A N	4 _	ı J	_ A	S	N	D	
SUDANGRASS (Sorghum sudnaese)	60 LBS.	1.4 LBS.	M-L P											55,000 SEEDS PER POUND. GOOD ON DROUGHTY SITES. <u>NOT</u> RECOMMENDED FOR MIXTURES.
ÅLONE	00 253.	1.4 LD3.	C	J	F	М	A N	4 _	ı J	A	S	N	D	
TRITICALE (X-Triticasecale) ALONE	144 LBS.	3.3 LBS.												USE ON LOWER PART OF SOUTHERN COASTAL PLAIN AND IN ATLANTIC COASTAL FLATWOODS ONLY.
IN MIXTURES	24 LBS.	0.6 LBS.	C	J	F	М	A 1	4 _	ı J	А	2	N	D	
WHEAT (Triticum aestivum)	180 LBS.	4.1 LBS.	M-L P											15,000 SEED PER POUND. WINTERHARDY.
ALONE IN MIXTURES	30 LBS.	0.7 LBS.	Ċ		F	м	A N	, ,	 		-	NI NI	ח	

1/ TEMPORARY COVER CROPS ARE VERY COMPETITIVE AND WILL CROWD OUT PERENNIALS IF SEEDED TOO HEAVILY.

2/ REDUCE SEEDING RATES BY 50% WHEN DRILLED.

3/ PLS IS AND ABBREVIATION FOR PURE LIVE SEED. 4/ M-L REPRESENTS THE MOUNTAIN; BLUE RIDGE; AND RIDGES AND VALLEYS MLRA'S

P REPRESENTS THE SOUTHERN PIEDMONT MLRA C REPRESENTS THE SOUTHERN COASTAL PLAIN; SAND HILLS; BLACK LANDS; AND ATLANTIC COAST FLATWOODS MLRA'S.

NOTES:

1. APPLY TO ALL EXPOSED AREAS WITHIN 14 DAYS OF DISTURBANCE.

2. IF DISTURBED AREAS ARE TO BE LEFT UNDISTURBED FOR LESS THAN 6 MONTHS USE TEMPORARY GRASSING, OTHERWISE USE PERMANENT GRASSING.

3. SOIL TO RECEIVE GRASSING IS TO BE SCARIFIED TO PROVIDE A PLACE FOR THE SEED TO LODGE AND GERMINATE. 4. APPLY AGRICULTURAL LIME AT A RATE OF ONE TON PER ACRE.

5. FOR LOW FERTILITY SOILS, APPLY 500-700 LBS. OF 10-10-10- FERTILIZER PER ACRE. APPLY BEFORE LAND PREPARATION AND INCORPORATE WITH A DISK, RIPPER, OR CHISEL. 6. APPLY SEED BY HAND, CYCLONE SEEDER, DRILL CULITPACER-SEEDER OR HYDRAULIC SEEDER. RAKE SOIL LIGHTLY TO

COVER SEED WHEN APPLIED BY HAND. 7. PROVIDE WATER AS REQUIRED TO GERMINATE AND MAINTAIN A HEALTHY THICK COVER OF GRASS.

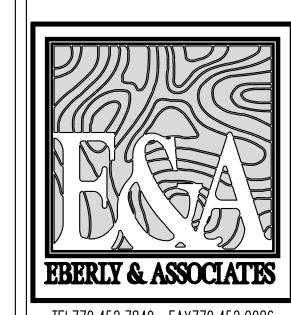
MAINTENANCE REQUIREMENTS:

INSPECT ALL AREAS WHERE TEMPORARY GRASSING HAD BEEN APPLIED. WHERE COVER IS SPARSE, SCARIFY THE AREA, TEST SOIL FERTILITY, APPLY FERTILIZER AS NECESSARY AND RESEED WHERE EROSION HAS OCCURRED, REGRADE PRIOR TO ABOVE STEPS.

TEMPORARY GRASSING

REFER TO THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GOERGIA" FOR FURTHER DETAILS AND SPECIFICATIONS.

> WESLEY S. REED LEVEL II CERTIFIED DESIGN PROFESSIONAL CERTIFICATION NUMBER 0000073044 ISSUED: 01/22/2021 EXPIRES: 01/22/2024



TEL770.452.7849 FAX770.452.0086 2951 FLOWERS ROAD SOUTH, STE 119 ATLANTA, GEORGIA 30341 WWW.EBERLY.NET

> LAND PLANNING CIVIL ENGINEERING LANDSCAPE ARCHITECTURE



REVISIONS: 05/20/2022 CONCEPT REVISION 1 06/23/2022 FULTON COUNTY SUB 08/05/2022 FULTON HEALTH DEPT 09/23/2022 | CONCEPT REVISION 2 10/07/2022 CONCEPT REVISION 3

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		AANAGER:	ì

PROJECT NO.

22-010

EC5.3

CDEOLEC	BROADCAST	RESOURCE		F	PLA	N TII	NG [) A TE	ES							REMARKS
SPECIES	RATES 2/ – PLS 3/ PER ACRE PER 1000 S.F	AREA 4/	J	F	М	A	М	J	J	A	S	То	ı N	ı D		REMARKS
BAHIA, PENSACOLA (Paspaium notatum) ALONE OR W/OTHER TEMPORARY COVER WITH OTHER PERENNIALS	60 LBS. 1.4 LBS. 30 LBS. 0.7 LBS.	P C			-			-							_	166,000 SEEDS PER POUND. LOW GROWING. SOD FORMING. SLOW TO ESTABLISH, PLANT WITH A COMPANION CROP. WILL SPREAD INTO BERMUDA PASTURES AND LAWNS. MIX WITH SERICEA PESPEDEZA OR WEEPING LOVEGRASS.
BAHIA, WILMINGTON (Paspalum notatum) ALONE OR W/OTHER TEMPORARY COVER WITH OTHER PERENNIALS	60 LBS. 1.4 LBS. 30 LBS. 0.7 LBS.	M-L P			_										_	166,000 SEEDS PER POUND. LOW GROWING. SOD FORMING. SLOW TO ESTABLISH, PLANT WITH A COMPANION CROP. WILL SPREAD INTO BERMUDA PASTURES AND LAWNS. MIX WITH SERICEA PESPEDEZA OR WEEPING LOVEGRASS.
BERMUNDA, COMMON (Cynodon dactylon) HULLED SEED ALONE WITH OTHER PERENNIALS	10 LBS. 0.2 LBS. 6 LBS. 0.1 LBS.	P C	J	_ F	M	A	. M	J	J	A	S	C) (1	N D		1,787,000 SEEDS PER POUND. QUICK COVER. LOW GROWING AND SOD FORMING. FULL SUN. GOOD FOR ATHLETIC FIELDS.
BERMUNDA, COMMON (Cynodon dactylon) UNHULLED SEED W/ TEMP COVER WITH OTHER PERENNIALS	10 LBS. 0.2 LBS. 6 LBS. 0.1 LBS.	P C	J	F	M	A	. M	J	J	A	S	C		N D	_	PLANT WITH WINTER ANNUALS. PLANT WITH TALL FESUCE.
BERMUDA SPRIGS (Cynodon dactylon) COASTAL, COMMON MOLAND, OR TIFT 44	40 C.F. 0.9 C.F. OR SOD PLUGS 3' x 3'	M-L P C			-	_				_						A CUBIC FOOT CONTAINS APPROXIMATELY 650 SPRIGS. A BUSHEL CONTAINS 1.25 CUBIC FEET OR APPROXIMATELY 800 SPRIGS.
COASTAL, COMMON OR TIFT 44 TIFT 78		С		F	М	A	М	J	J	A	S	C) (N D		SAME AS ABOVE. SOUTHERN COASTAL PLAIN ONLY.
CENTIPEDE (Eremochioa aphiuroides)	BLOCK SOD ONLY	P C						_							-	DROUGHT TOLERANT. FULL SUN OR PARTIAL SHADE. EFFECTIVE ADJACENT TO CONC. AND IN CONCENTRATED FLOW AREAS. IRRIGATION IS NEEDED UNTIL FULLY ESTABLISHED. DO NOT PLANT NEAR
			J	F	М	A	. М	J	J	A	S	С) 1	۱ D		PASTURES. WINTERHARDY AS FAR NORTH AS ATHENS AND ATLANTA.
CROWNVETECH (Coronilla varia)		M-L P														100,000 SEEDS PER POUND. DENSE GROWTH, ATTRACTIVE ROSE, PINK AND WHITE BLOSSOMS SPRING TO LATE FALL. MIX W/ 30 LBS. OF TALL FESCUE OR
WITH WINTER ANNUALS OR COOL SEASON GRASS	15 LBS. 0.3 LBS.	'	J	F	М	A	. М	J	J	A	S	С) 1	N D		15 LBS. OF RYE INOCULATE SEED WITH M INOCULANT, USE FROM NORTH ATLANTA AND NORTHWARD.
FESCUE, TALL (Festuca arundinacea)	50 LBS. 1.1 LBS. 30 LBS. 0.7 LBS.	M-L P				<u> </u>				 -		 				227,000 SEEDS PER POUND. USE ALONE ONLY ON BETTER SITES. NOT FOR DROUGHT SOIL. MIX WITH PERENNIAL LESPEDEZAS OR CROWNVETECH. APPLY TOPDRESSING IN SPRING FOLLOWING FALL PLANTING. NOT FOR HEAVY USE AREAS OR ATHLETIC FIELDS.
ALONE W/ OTHER PERENNIALS			J	F	М	A	. М	J	J	A	S	С) 1	N D		TON TIENVI OSE MICENS ON ATTIEL NO TIELDS.
KUDZU (Pueraria thumbergiana) PLANTS OR CROWNS	3" — 7" APART	ALL														RAPID AND VIGORIOUS GROWTH. EXCELLENT IN GULLY EROSION CONTROL. WILL CLIMB. GOOD LIVESTOCK FORAGE.
LESPEDEZA Amora virgata (Lespedeza virgata DC) OR Appolow (Lespedeza cuneata [Dumont] G. Don.) SCARIFIED	60 LBS. 1.4 LBS.	M-L P C	J	F		A	. M	J	J	A	S	C	1 (N D		300,000 SEEDS PER POUND. HEIGHT OF GROWTH IS 18 TO 24 INCHES. ADVANTAGES IN URBAN AREAS. SPREADING-TYPE GROWTH. NEW GROWTH HAS BRONZE COLORATION. MIX W/ WEEPING LOVEGRASS, COMMON BERMUDA, BAHIA, TALL FESCUE, OR WINTER ANNUALS. DO NOT MIX W/ SERICEA LESPEDEZA. SLOW TO DEVELOP SOLID STANDS. INOCULATE SEED W/ EL
UNSCARIFIED	70 LBS. 1.7 LBS.	M-L P C	.1	F	М	Δ		.1	.1	Δ	S			N D		INCULANT

CDECIEC	BROADCAST	RESOURCE PLANTING DATES	REMARKS	
SPECIES	RATES 2/ - PLS 3/ PER ACRE PER 1000 S.F.	AREA 4/ J F M A M J J A S O N D	KEWIAKKS	
LESPEDEZA, SERICEA (Lespedeza cuneata) SCARIFIED	60 LBS. 1.4 LBS.	M-L P C	350,000 SEEDS PER POUND, WIDELY ADAPTED, LOW MAINTENANCE. MIX WITH WEEPING LOVEGRASS, COMMON BERMUDA, BAHIA, OR TALL FESCUE. TAKES 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED. EXCELLENT ON ROADBANKS. INOCULATE SEED W/ EL INOCULANT.	
UNSCARIFIED	75 LBS. 1.7 LBS.	M-L P C	MIX WITH TALL FESCUE OR WINTER ANNUALS	
SEED-BEARING HAY	3 TONS 1338 LBS.	M-L P C J F M A M J J A S O N D	CUT WHEN SEED MIXTURE IS MATURE, BUT BEFORE, IT SCATTERS. ADD TALL FESCUE OR WINTER ANNUALS.	
LESPEDEZA, SHRUB (Lespedeza bicolor) (Lespedeza thumbergii) PLANTS	3' x 3'	M-L P C J F M A M J J A S O N D	PROVIDES WILDLIFE FOOD AND COVER.	NOTES: 1. PERMANANT GRASSING SHALL BE APPLIED TO GRADED AREAS THAT WILL BE UNDISTURBED FOR MORE THAN 6 MONTHS.
LOVEGRASS, WEEPING (Erogrostis curvula) ALONE W/ OTHER PERENNIALS	4 LBS. 0.1 LBS. 2 LBS. 0.05 LBS.	M-L P C J F M A M J J A S O N D	1,500,000 SEEDS PER POUND. QUICK COVER, DROUGHT TOLERANT. GROWS WELL WITH SERICEA LESPEDEZA ON ROADBANKS	2. APPLY TO ALL AREAS IMMEDIATELY AFTER THEY HAVE REACHED FINAL GRADE 3. APPLY AGRICULTURAL LIME AT A RATE OF 1-2 TONS PER ACRE UNLESS SOIL TESTS INDICATE OTHERWISE. 4. RYE GRASS SHALL NOT BE USED IN ANY SEEDING MIXTURE CONTAINING PERINNIAL SPECIES DUE TO ITS ABILITY TO OUT-COMPETE DESIRED SPECIES
MAIDEN CARE (Penicum hernitornon) SPRIGS	2' x 3' SPACING	ALL J F M A M J J A S O N D	FOR VERY WET SITES. MAY CLOG CHANNELS. DIG SPRIGS FROM LOCAL SOURCES. USE ALONG RIVER BANKS AND SHORELINES	CHOSEN FOR PERMANANT PERENNIAL COVER. 5. FOR HYDRAULIC SEEING, MIX SEED, FERTILIZER AND WOOD CELLULOSE OR WOOD PULP FIBER WITH WATER AND APPLY IN SLURRY UNIFORMLY OVER THE TREATED AREA. APPLY WITHIN 1 HOUR OF MIXING. MULCH IS TO BE APPLIED AT A RATE OF 500 LBS. PER ACRE.
PANICGRASS ATLANTIC COASTAL (Panicum amorum vor. amorulum)	20 LBS. 0.5 LBS.	P C J F M A M J J A S O N D	GROWS WELL ON COASTAL SAND DUNES, BORROW AREAS, AND GRAVEL PITS. PROVIDES WINTER COVER FOR WILDLIFE. MIX WITH SERICEA LESPEDEZA EXCEPT ON SAND DUNES.	6. FOR CONVENTIONAL SEEDING USE A CULTI-SEEDER, DRILL, ROTARY SEEDER, OTHER MECHANICAL SEEDER OR HAND SEED UNIFORMLY OVER THE SEED WITH 1/8" TO 1/2" OF SOIL. PROVIDE TEMPORARY MULCHING WITHIN 24 HOURS OF SPREADING SEED. MULCH SHALL COVER 75% OF THE SOIL SURFACE. MAINTENANCE REQUIREMENTS: PROVIDE PERIODIC INSPECTIONS AND AFTER EACH RAINFALL EVENT AND REGRAS
RED CANARY GRASS (Phalaris arundinanceo) ALONE WITH OTHER PERENNIALS	50 LBS. 1.1 LBS. 30 LBS. 0.7 LBS.	M-L P J F M A M J J A S O N D	GROWS SIMILAR TO TALL FESCUE.	AREAS THAT ARE BARE OR HAVE ERODED. ESCLUDE TRAFFIC ON GRASSED AREA UNTIL GRASS IS ESTABLISHED. MOW AS REQUIRED.
SUNFLOWER "AZTEC" MAXIMILLIAN (Helianthis maximilloni)	10 LBS. 0.2 LBS.	M-L P C J F M A M J J A S O N D	227,000 SEEDS PER POUND. MIX WITH WEEPING LOVEGRASS OR OTHER LOW-GROWING GRASSES OR LEGUMES.	

THICK LINES INDICATE OPTIMUM DATES, THIN LINES INDICATE PERMISSIBLE BUT MARGINAL DATES.

1/ REDUCE SEEDING RATES BY 50% WHEN DRILLED.

2/ PLS IS AN ABBREVIATION FOR PURE LIVE SEED, REFER TO SECTION V.E. OF THESE PECIFICATIONS.

3/ M-L REPRESENTS THE MOUNTAIN, BLUE RIDGE, AND RIDGES AND VALLEYS MLRA'S. P REPRESENTS THE SOUTHERN PIEDMONT MLRA.

C REPRESENTS THE SOUTHERN COASTAL PLAIN; SAND HILLS; BLACK LANDS; AND ATLANTIC COAST FLATWOODS MLRA'S.

PERMANENT GRASSING
REFER TO THE "MANULAL TO REFER TO THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GOERGIA" FOR FURTHER DETAILS AND SPECIFICATIONS.

UPSTREAM TERMINAL 1'-0" STEP 1: CUT TERMINAL SLOT

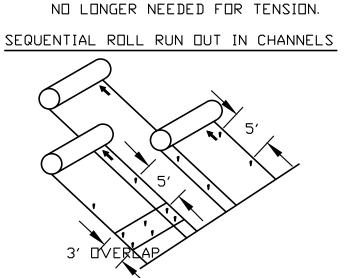
STEP 2: SNUG MAT INTO SLOT

A. STAKE MAT INTO SLOT. B. USE 1" × 3" PRESSURE-TREATED BOARD TO BRACE MAT AGAINST VERTICAL CUT. C. BACKFILL AND COMPACT.

A. REVERSE MAT ROLL DIRECTION TO

OVERLAY CHECK SLOT.

B. STAKE MAT TO ANCHOR TERMINAL. PICTORIAL VIEW OF TRANSVERSE SLOT



TRANSVERSE CHECK SLOT

STAKE MAT UNDER MODERATE TENSION.

STEP 1: CUT CHECK SLOT TEMPORARILY

15"

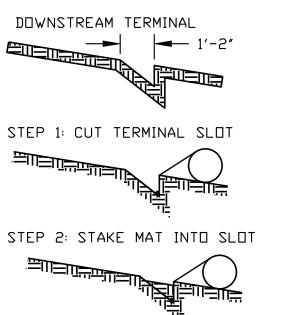
STEP 2: WORK UPSTREAM ACROSS

STEP 3: TUCK MAT LAP INTO

SLOT AND STAKE.

STEP 4: BACKFILL & PROGRESS UPSTREAM

CHECK SLOT. LAP BACK 15"



STEP 3: BACKFILL TERMINAL SLOT

TERMINAL. B. STAKE MAT DOWN TO ANCHOR TERMINAL. PULL DUT TEMPORARY STAKES WHEN C. PROGRESS UPSTREAM WITH ROLL.

- 1. START AT DOWNSTREAM TERMINAL & PROGRESS
- UPSTREAM. 2. FIRST ROLL IS CENTERED LONGITUDINALLY IN MID CHANNEL & PINNED WITH TEMPORARY STAKES TO
- MAINTAIN ALIGNMENT. 3. SUBSEQUENT ROLLS FOLLOW IN STAGGERED SEQUENCE BEHIND FIRST ROLL. USE CENTER
- ROLL FOR ALIGNMENT TO CHANNEL CENTER. 4. WORK OUTWARDS FROM CHANNEL CENTER TO EDGE.
- 5. USE 3" OVERLAP & STAKE AT 5' INTERVAL ALONG SEAMS. 6. USE 3" OVERLAPS & SHINGLE DOWNSTREAM TO
- CONNECT LINING AT ROLL ENDS. CONCENTRATED FLOW AREAS, ALL SLOPES STEEPER THAN 2:5:1 AND WITH A HEIGHT OF 10 FEET OR GREATER AND SUTS AND FILLS WITHIN STREAM
- BUFFERS SHALL BE STABLIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKETS.
- 8. ALL BLANKETS AND MATTING SHALL BE ON THE GEORGIA D.O.T. QUALIFIED LIST #49 AND #89, RESPECTIVELY. 9. USE EITHER WOODEN OR PLASTIC STAPLES FOR
- PLACEMENT OF MATTING. METAL STAPLES SHALL NOT BE USED. A. ROLL MAT UPSTREAM OVER REFILLED 10. RAKE ROOTS & ROCKS AND REMOVE BEFORE SEEDING.

MAINTENANCE REQUIREMENTS:

ALL EROSION CONTROL BLANKETS AND MATTING SHOULD BE INSPECTED PERIODICALLY FOLLOWING INSTALLATION, PARTICULARLY AFTER RAINSTORMS TO CHECK FOR EROSION AND UNDERMINING. ANY DISLOCATION OR FAILURE SHOULD BE REPAIRED IMMEDIATELY. IF WASHOUTS OR BREAKAGE OCCURS, REINSTALL THE MATERIAL AFTER REPAIRING DAMAGE TO THE SLOPE OR DITCH. CONTINUE TO MONITOR THESE AREAS UNTIL THEY BECOME PERMANENTLY STABILIZED.

EROSION CONTROL SLOPE STABILIZATION REFER TO THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GOERGIA" FOR FURTHER DETAILS AND SPECIFICATIONS.

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> LAND PLANNING CIVIL ENGINEERING LANDSCAPE ARCHITECTURE



REVISIONS:	
05/20/2022	CONCEPT REVISION 1
06/23/2022	FULTON COUNTY SUB
08/05/2022	FULTON HEALTH DEPT
09/23/2022	CONCEPT REVISION 2
10/07/2022	CONCEPT REVISION 3

NA	03/14/2022	T. RAPP	WESLEY REED	

SCALE:	DATE:	DRAWN

PROJECT NO.

SHEET NO.

WESLEY S. REED

LEVEL II CERTIFIED DESIGN PROFESSIONAL

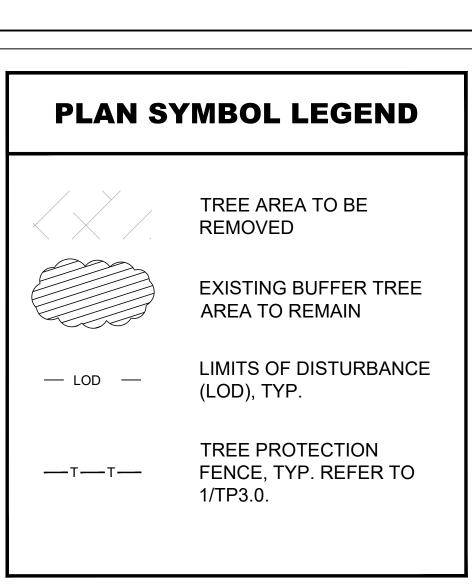
CERTIFICATION NUMBER 0000073044

ISSUED: 01/22/2021 EXPIRES: 01/22/2024

EC5.4

ISSUED FOR CONSTRUCTION

22-010



TREE PROTECTION PLANS NOTES

INSTALL ALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO CONSTRUCTION ACTIVITIES. TREE PROTECTION MEASURES SHALL REMAIN IN FUNCTIONING CONDITION THROUGHOUT ALL PHASES OF DEVELOPMENT, BUT SHALL BE REMOVED PRIOR TO ISSUANCE OF C.O. CONTRACTOR SHALL IMMEDIATALY REPAIR OR REPLACE ANY TREE PROTECTION MEASURES DAMAGED DURING CONSTRUCTION.

- 2. REFER TO TREE PROTECTION PLANS FOR TREE CLEARING LIMITS. UNLESS OTHERWISE NOTED, ALL TREES WITHIN LIMITS OF DISTURBANCE (AS SHOWN ON CIVIL PLANS). SHALL BE DEMOLISHED AND REMOVED FROM SITE, REGARDLESS OF WHETHER INDIVIDUAL EXISTING TREES ARE SPECIFICALLY SHOWN ON SURVEY OR NOT.
- 3. ANY TREE SHOWN TO BE REMOVED OUTSIDE LIMITS OF DISTURBANCE SHALL BE FELLED AT GRADE AND GRINDED TO MIN 12" BELOW GRADE. ROOTBALL SHALL REMAIN IN PLACE FOR THESE CONDITIONS.
- 4. ALL CONSTRUCTION ACTIVITIES ARE PROHIBITED WITHIN THE TREE PROTECTION AREA.

 CONSTRUCTION SITE ACTIVITIES SUCH AS PARKING, EQUIPMENT TRAFFIC, MATERIALS

 STORAGE, CONCRETE WASHOUT, BURN-HOLE PLACEMENT, ETC., SHALL BE ARRANGED SO

AS TO PREVENT DISTURBANCES WITHIN THE TREE PROTECTION AREA.

5. ONCE TREE PROTECTION AREAS ARE ESTABLISHED AND APPROVED, NO CHANGES SHALL BE MADE WITHOUT FIRST OBTAINING APPROVAL FROM THE LOCAL JURISDICTION AND

LANDSCAPE ARCHITECT OF THE CHANGE, SUBJECT TO LOCAL REQUIREMENTS.

- ALL TREE PROTECTION AREAS SHALL BE DESIGNATED AS SUCH WITH "TREE PROTECTION AREA" SIGNS. THESE SIGNS ARE INTENDED TO INFORM SUBCONTRACTORS OF THE TREE PROTECTION PROCESS. SUCH SIGNS SHALL BE A MINIMUM OF 16 SQUARE FEET IN SIGN FACE AREA AND SHALL STATE WITH MINIMUM THREE-INCH LETTERING "ATTENTION SUBCONTRACTORS. YOU MUST OBSERVE TREE PROTECTION AREA NO CONSTRUCTION OR EQUIPMENT ENCROACHMENT. YOU ARE RESPONSIBLE FOR DAMAGES" OR SIMILAR WORDING. SIGNS REQUIRING SUBCONTRACTOR COOPERATION AND COMPLIANCE WITH THE
- ALL TREE PROTECTION AREAS MUST BE PROTECTED FROM SOIL EROSION AND SEDIMENTATION INTRUSION. CONTRACTOR SHALL DIVERT STORMWATER AND SILT AWAY FROM TREE SAVE AREAS AS NECESSARY.

TREE PROTECTION STANDARDS SHALL BE POSTED VISIBLY AT SIGHT ENTRANCES.

IF ENCROACHMENT INTO A TREE PROTECTION AREA OCCURS THAT CAUSES IRREPARABLE DAMAGE TO THE TREES, CONTRACTOR IS SOLELY RESPONSIBLE FOR REMEDIATION MEASURES. CONTRACTOR SHALL COMPENSATE FOR THE LOSS PER LOCAL JURISDICTIONAL REQUIREMENTS. CONTRACTOR SHALL REMOVE ANY TREES RENDERED 'D.D.H.' AND PLANT ADDITIONAL TREES AS NECESSARY AT NO ADDITIONAL COST TO OWNER. CONTRACTOR IS FINANCIALLY RESPONSIBLE FOR ANY DESIGN COSTS IF MUNICIPALITY REQUIRES PERMITTEE TO REVISE AND RESUBMIT TREE PROTECTION PLANS.

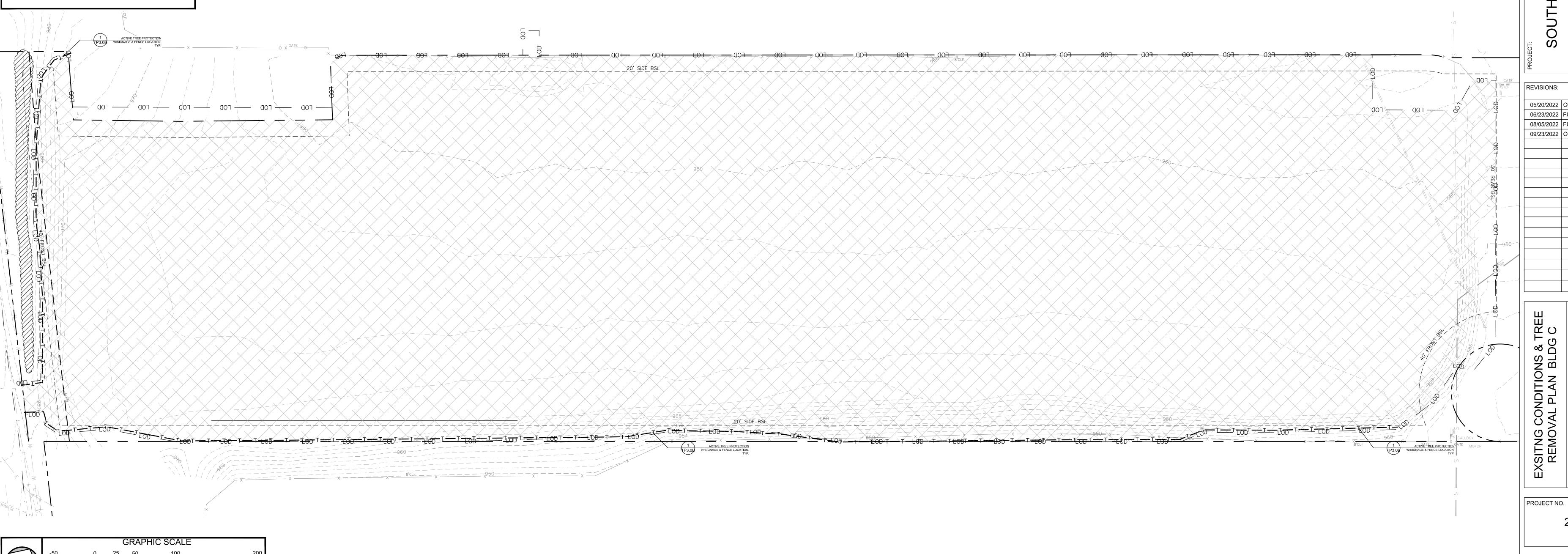
(IN FEET) 1 INCH = 50 FT.

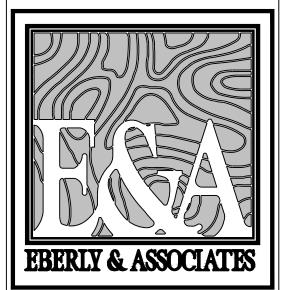
CALL 811 OR 800-282-7411 THREE WORKING DAYS BEFORE

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DO NOT DUPLICATE WITHOUT AUTHORIZATION FROM DRAWING ORIGINATOR

DO NOT SEPARATE SHEETS FROM COMPLETE SET WITHOUT AUTHORIZATION FROM DRAWING





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LAND PLANNING

CIVIL ENGINEERING

LANDSCAPE ARCHITECTURE



ILDING C

LAND LOT 33 & 34 9F DISTRICT 7760 SPENCE ROAD, FAIRBUF

REVISIONS:

05/20/2022 CONCEPT REVISION 1

06/23/2022 FULTON COUNTY SUB

08/05/2022 FULTON HEALTH DEPT

09/23/2022 CONCEPT REVISION 2

1"= 50'
03/14/2022

SCALE:
DATE:

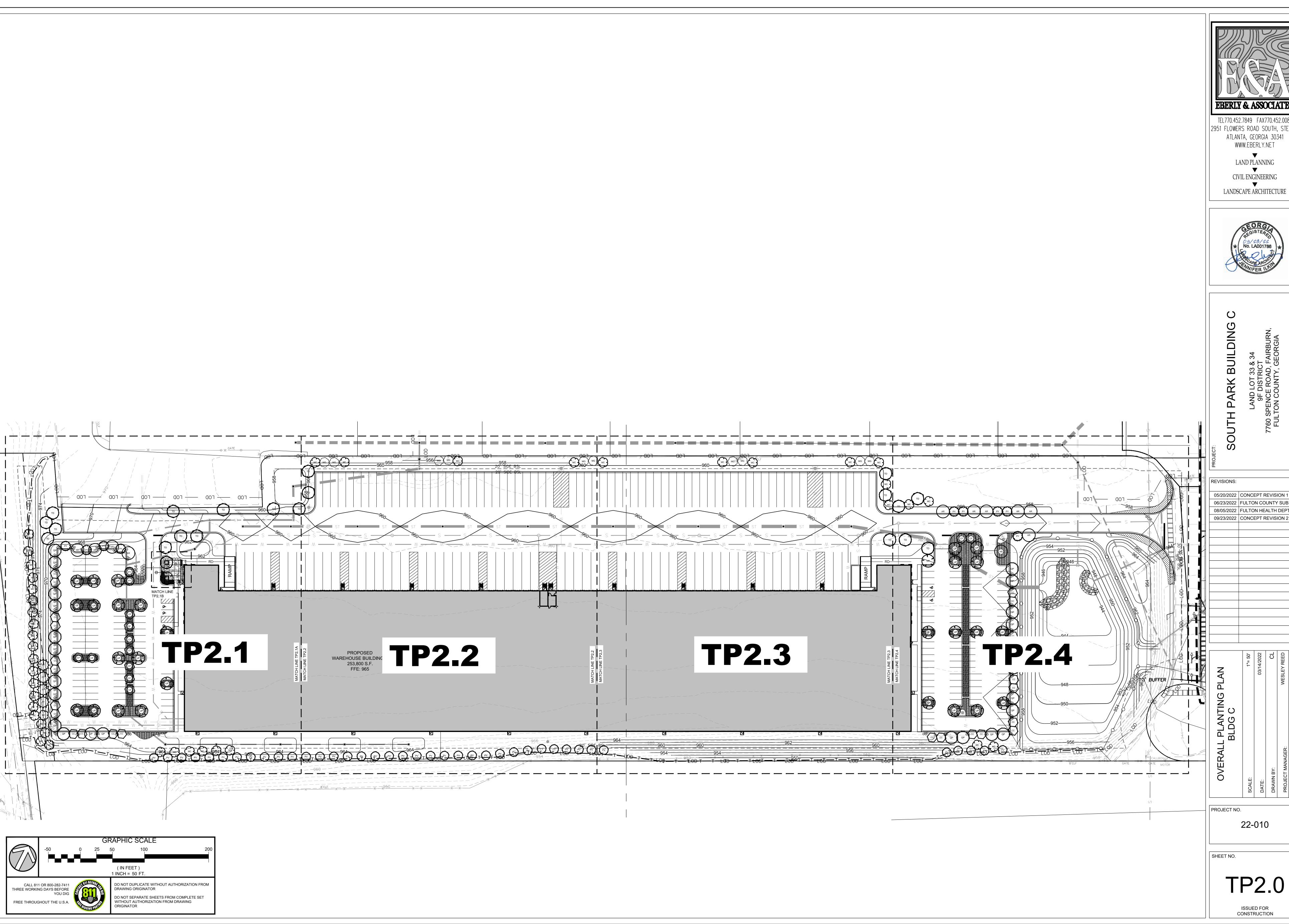
DRAWN BY:

NO.

22-010

SHEET NO.

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CIVIL ENGINEERING



PLAN SYMBOL LEGEND MATCHLINE SHEET LIMITS OF DISTURBANCE — LOD — (LOD), TYP.

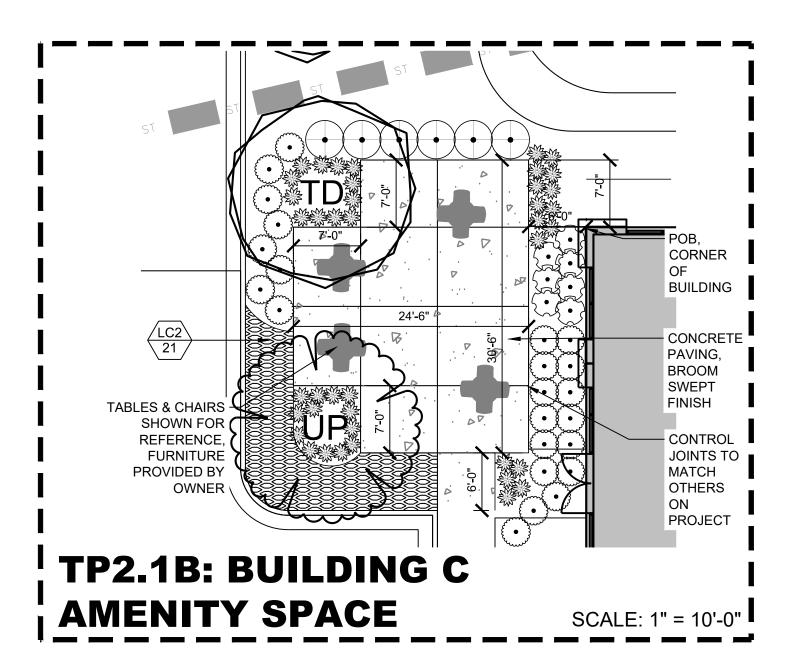
1/TP3.0.

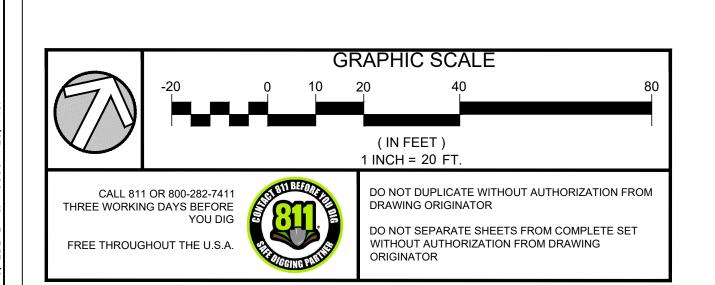
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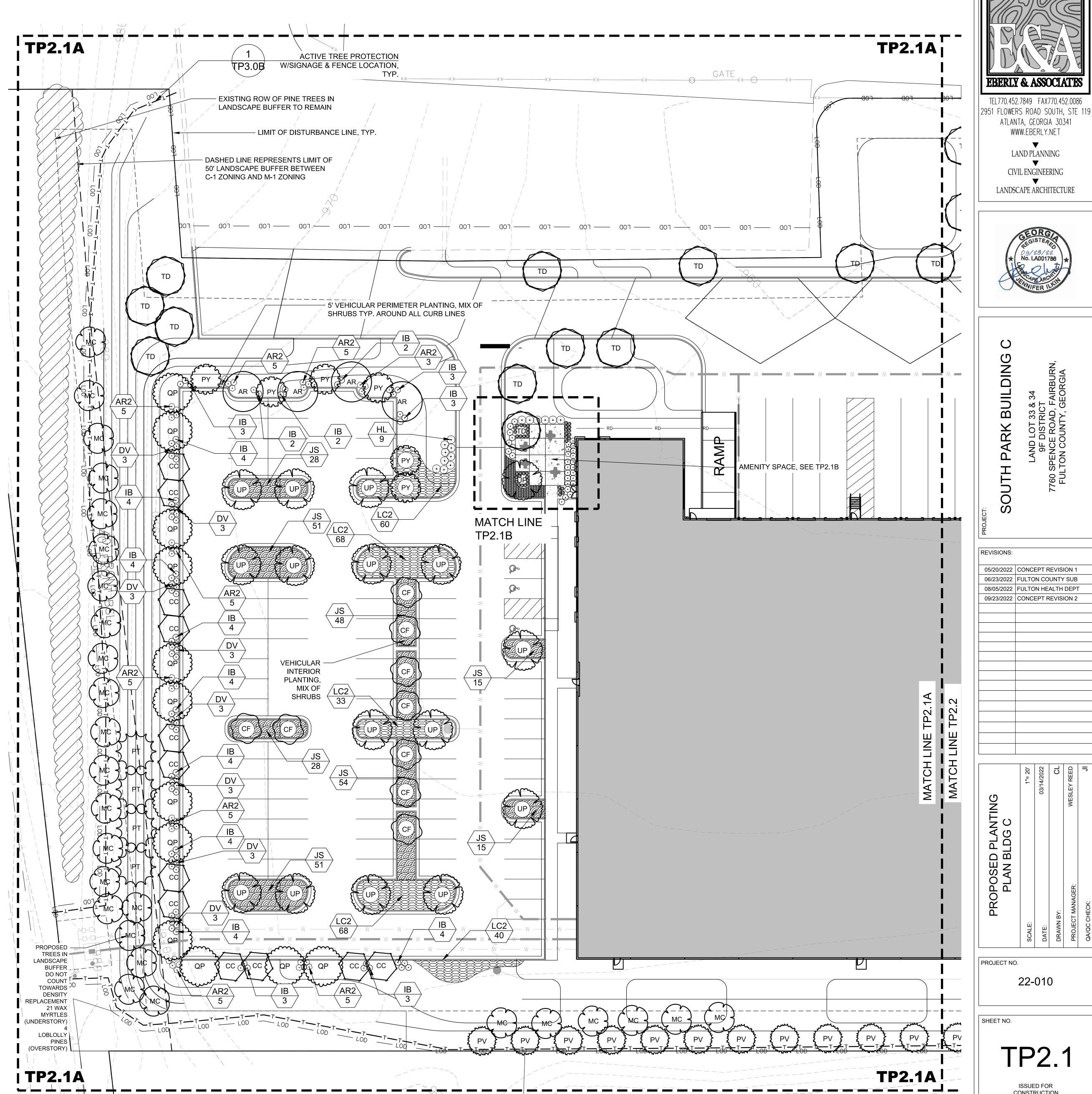
TREE PROTECTION

FENCE, TYP. REFER TO

LAN I	CODE	IBOL LEGEND BOTANICAL / COMMON NAME
iees .	CODE	BOTANICAL / COMMON NAME
AR	AR	ACER RUBRUM / RED MAPLE
CC	СС	CERCIS CANADENSIS / EASTERN REDBUD
CF	CF	CORNUS FLORIDA / FLOWERING DOGWOOD
MG	MG	MAGNOLIA GRANDIFLORA / SOUTHERN MAGNOLIA
MC	МС	MYRICA CERIFERA / WAX MYRTLE
PT }	PT	PINUS TAEDA / LOBLOLLY PINE
PV	PV	PINUS VIRGINIANA / VIRGINIA PINE
PY	PY	PRUNUS X YEDOENSIS / YOSHINO CHERRY
QP	QP	QUERCUS PHELLOS / WILLOW OAK
TD	TD	TAXODIUM DISTICHUM / BALD CYPRESS
UP	UP	ULMUS AMERICANA 'PRINCETON' / PRINCETON AMERICAN ELM
RUBS	CODE	BOTANICAL / COMMON NAME
\odot	AR2	ABELIA X 'ROSE CREEK' / ROSE CREEK ABELIA
\odot	DV	DISTYLIUM X 'VINTAGE JADE' / VINTAGE JADE DISTYLIUM
\oplus	HL	HYDRANGEA PANICULATA 'LIMELIGHT' / LIMELIGHT PANICLE HYDRANGEA
\odot	IB	ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY
	PH	PANICUM VIRGATUM 'HEAVY METAL' / HEAVY METAL SWITCH GRASS
IRUB AREAS	CODE	BOTANICAL / COMMON NAME
TALALALALALALALALALALALALALALALALALALAL	ad ad Js	JUNIPERUS X PFITZERIANA 'SEA GREEN' / SEA GREEN PFITZER JUNIPER
	LC2	LOROPETALUM CHINENSE RUBRUM 'CHANG NIAN HONG' TM / EVER RED FRINGE FLOWER
OUND COVERS	CODE	BOTANICAL / COMMON NAME





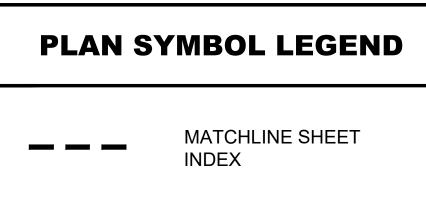


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LAND PLANNING

CIVIL ENGINEERING

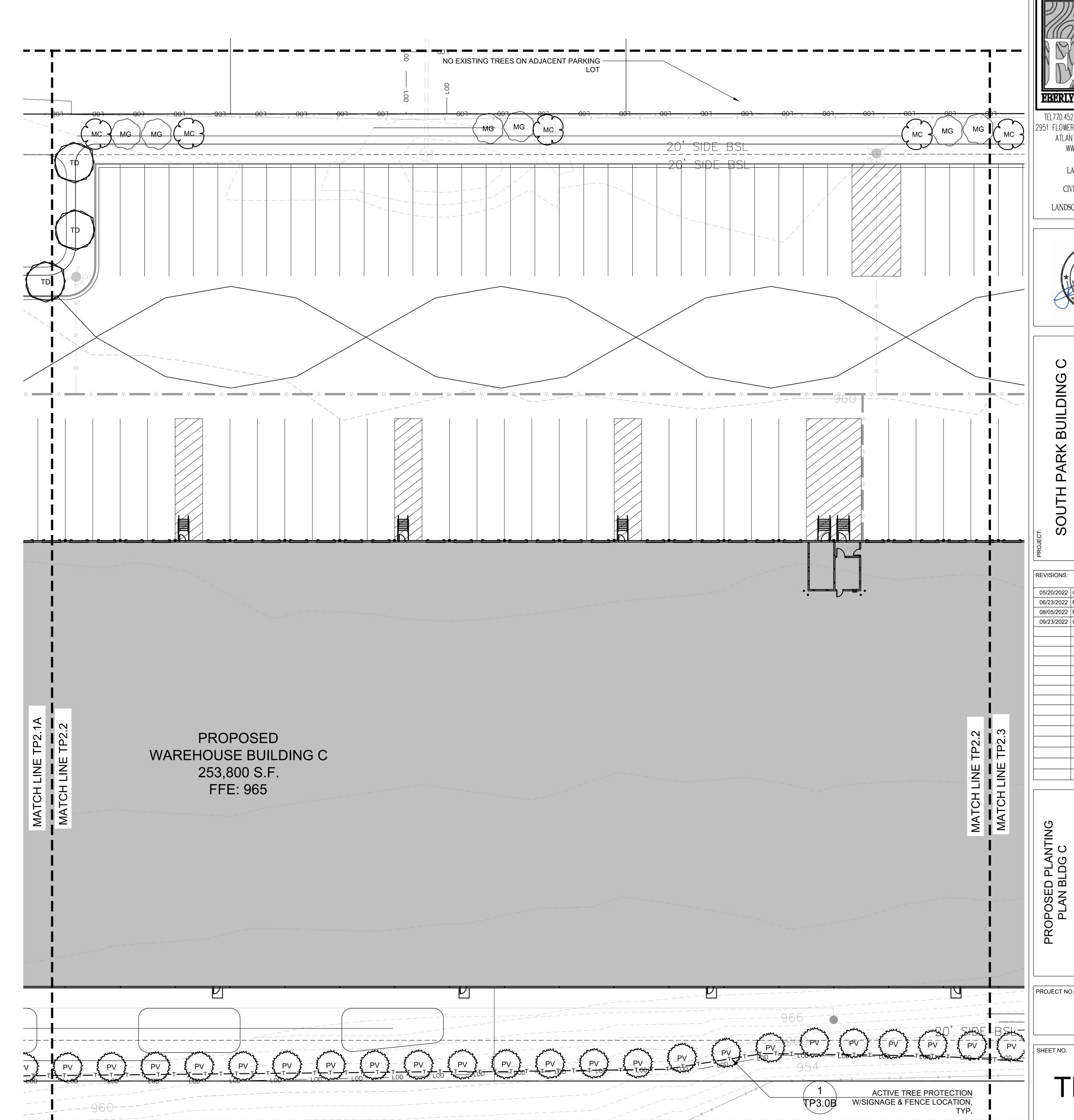
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— LOD —

TREE PROTECTION FENCE, TYP. REFER TO 1/TP3.0.

PLAN I	CODE	BOL LEGEND BOTANICAL / COMMON NAME
AR	AR	ACER RUBRUM / RED MAPLE
	AK	ACER RODROW / RED WAPLE
cc	СС	CERCIS CANADENSIS / EASTERN REDBUD
CF	CF	CORNUS FLORIDA / FLOWERING DOGWOOD
MG	MG	MAGNOLIA GRANDIFLORA / SOUTHERN MAGNOLIA
MC	МС	MYRICA CERIFERA / WAX MYRTLE
PT	PT	PINUS TAEDA / LOBLOLLY PINE
PV	PV	PINUS VIRGINIANA / VIRGINIA PINE
PY	PY	PRUNUS X YEDOENSIS / YOSHINO CHERRY
QP	QP	QUERCUS PHELLOS / WILLOW OAK
TD	TD	TAXODIUM DISTICHUM / BALD CYPRESS
UP	UP	ULMUS AMERICANA 'PRINCETON' / PRINCETON AMERICAN ELM



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LAND PLANNING CIVIL ENGINEERING LANDSCAPE ARCHITECTURE

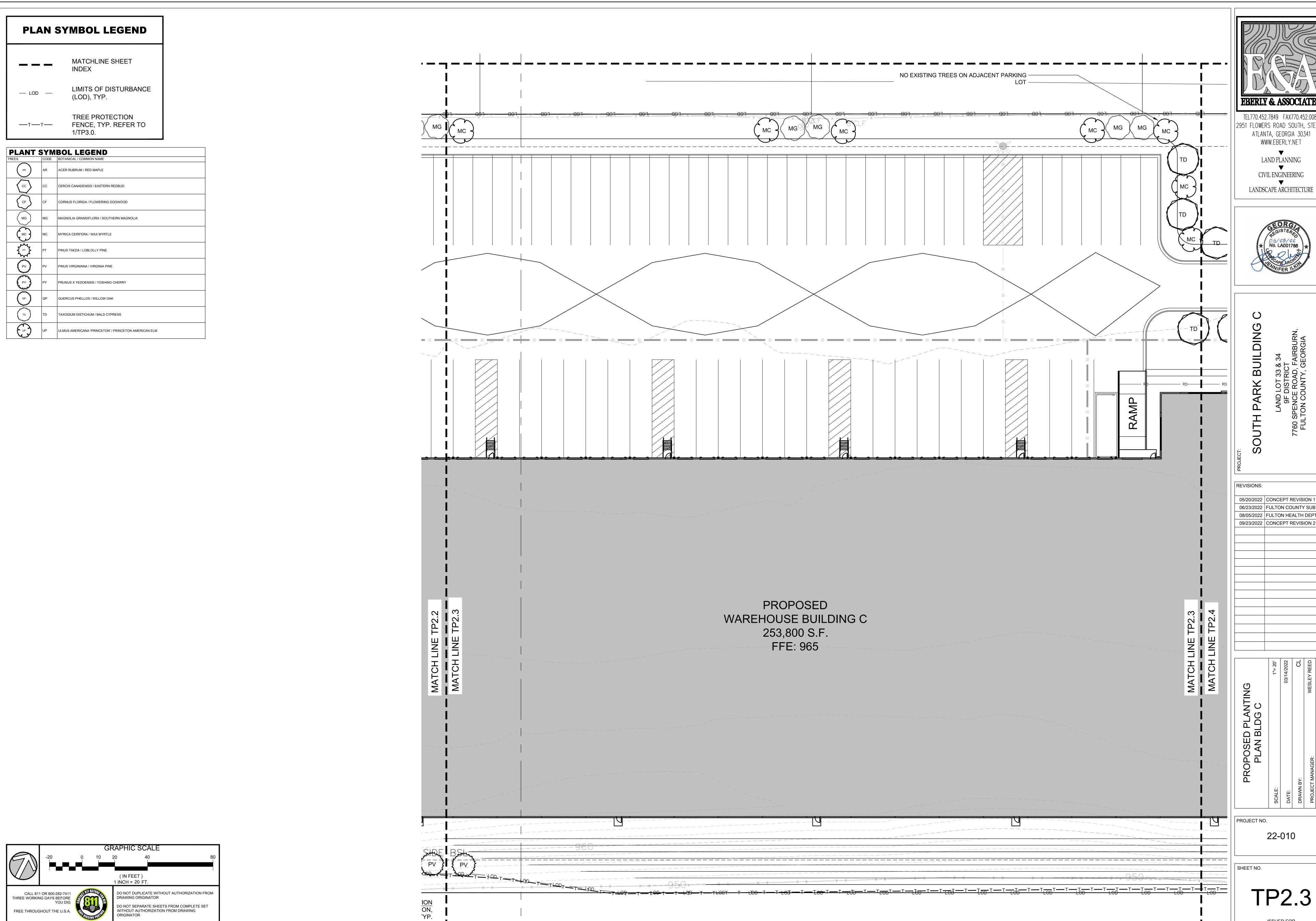


09/23/2022 CONCEPT REVISION 2

22-010

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> LAND PLANNING CIVIL ENGINEERING



05/20/2022 | CONCEPT REVISION 1 08/05/2022 FULTON HEALTH DEPT 09/23/2022 CONCEPT REVISION 2

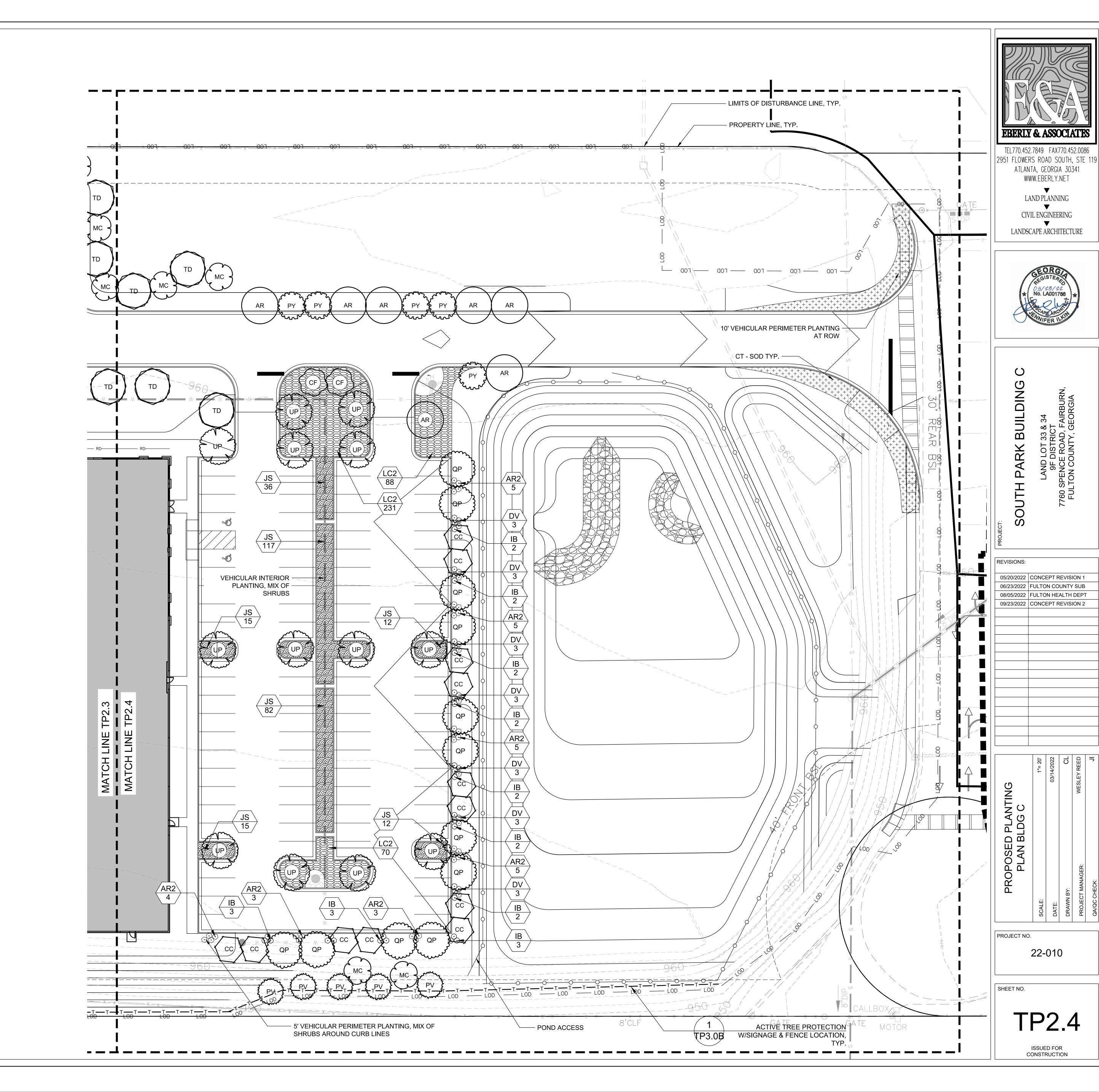
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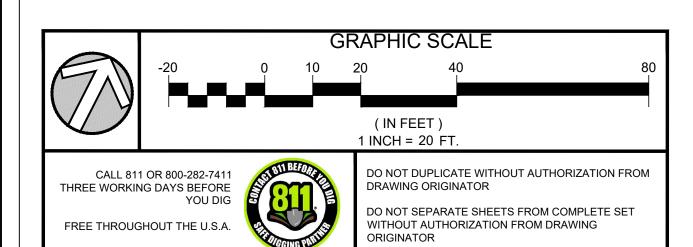
PLAN SYMBOL LEGEND MATCHLINE SHEET INDEX LIMITS OF DISTURBANCE (LOD), TYP. TREE PROTECTION

1/TP3.0.

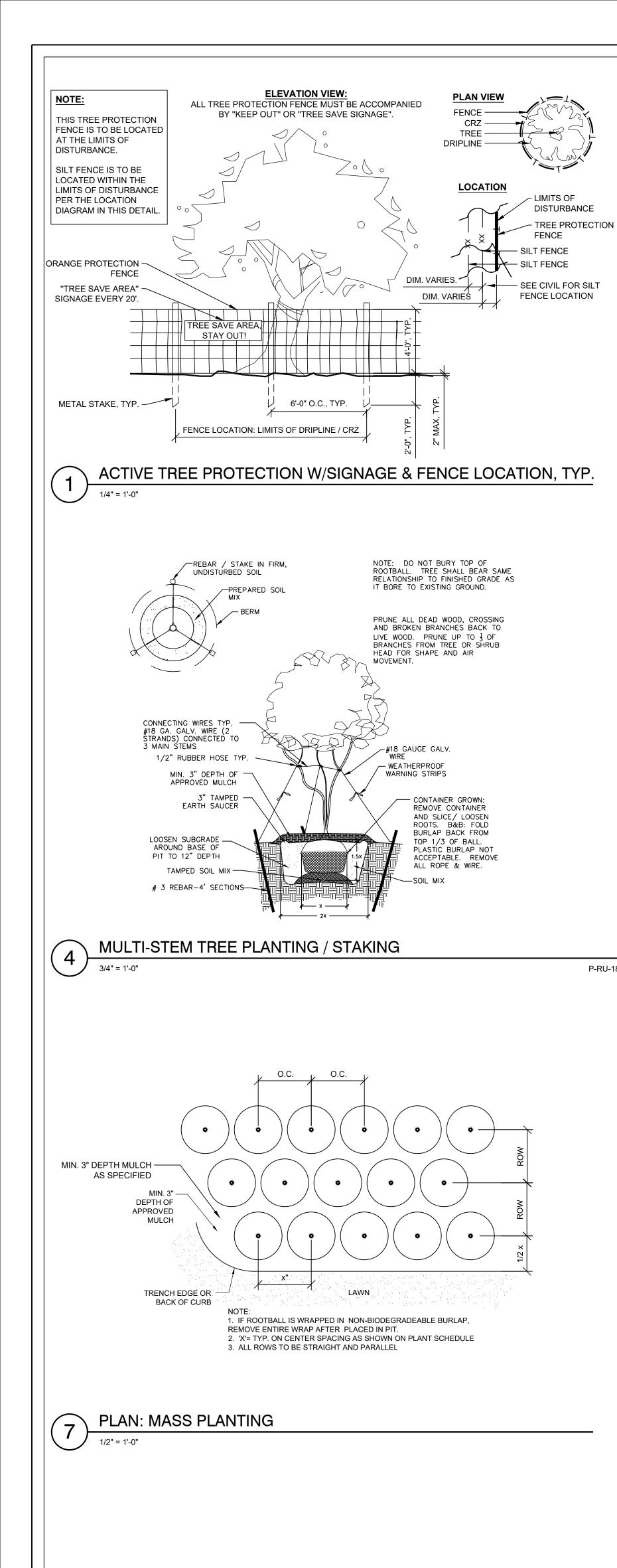
FENCE, TYP. REFER TO

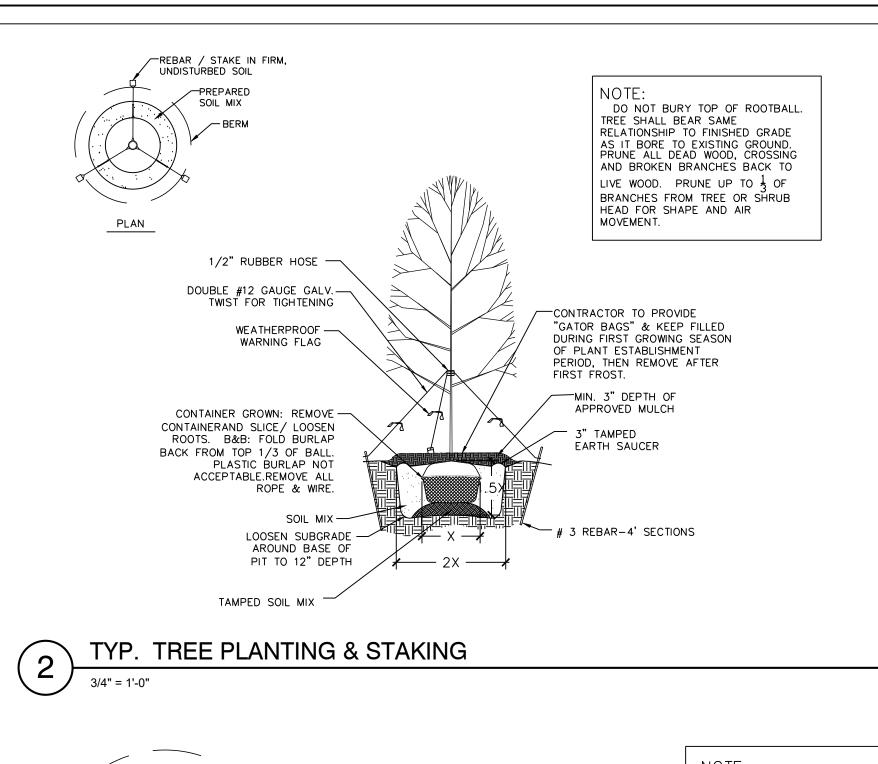
AR	
	ACER RUBRUM / RED MAPLE
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AR2	ABELIA X 'ROSE CREEK' / ROSE CREEK ABELIA
DV	DISTYLIUM X 'VINTAGE JADE' / VINTAGE JADE DISTYLIUM
HL	HYDRANGEA PANICULATA 'LIMELIGHT' / LIMELIGHT PANICLE HYDRANGEA
IB	ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY
PH	PANICUM VIRGATUM 'HEAVY METAL' / HEAVY METAL SWITCH GRASS
CODE	BOTANICAL / COMMON NAME
JS	JUNIPERUS X PFITZERIANA 'SEA GREEN' / SEA GREEN PFITZER JUNIPER
LC2	LOROPETALUM CHINENSE RUBRUM 'CHANG NIAN HONG' TM / EVER RED FRINGE FLOWER
CODE	BOTANICAL / COMMON NAME
۱	MG MC PT PV PY QP TD UP CODE AR2 DV HL IB PH CODE JS LC2





)2018, EBERLY & ASSOCIATES, INC.





UNDISTURBED SOIL

3" DEPTH OF

APPROVED MULCH.

6" WIDE TAMPED

EARTH SAUCER

PLANTING SOIL MIX ____

FIRMLY TAMP SOIL MIX .

TO SUPPORT ROOT BALL.

STANDARD CONIFEROUS TREE

PLANTING SOIL MIX IS NOT TO

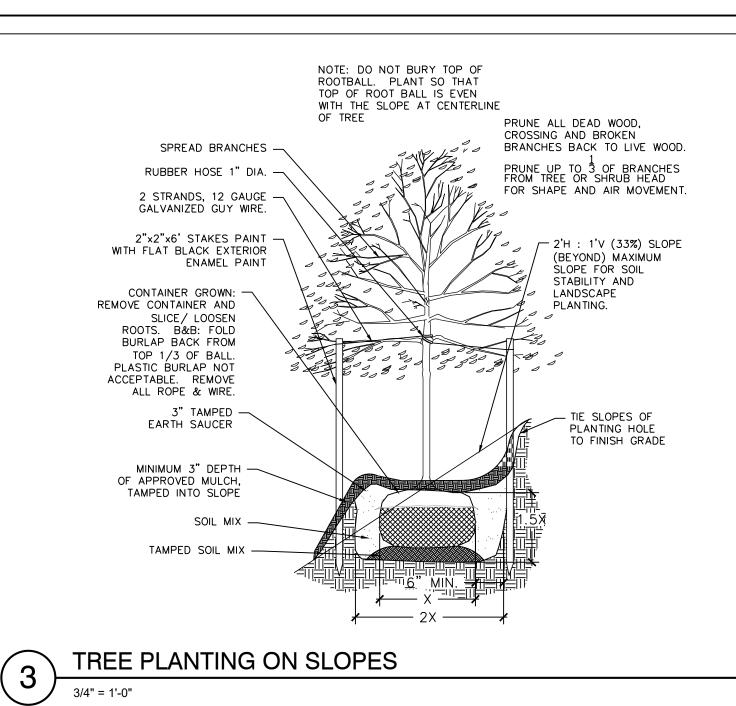
OR CONTAINER MATERIAL.

COVER THE ROOTMASS OF B&B

CONTAINER SOIL MIX SHALL BE

DIRECT CONTACT WITH MULCH.

LOOSEN SUBRADE 6" TO 12' DEPTH TO AID DRAINAGE



- PRUNE ALL DEAD WOOD, CROSSING AND 1. DO NOT BURY TOP OF ROOTBALL BROKEN BRANCHES BACK TO LIVE WOOD. SHRUB SHALL BEAR SAME BE SUBSTITUTED BY APPROVAL. PRUNE UP TO 1/3 OF BRANCHES FROM SHRUB RELATIONSHIP TO FINISHED HEAD FOR UNIFORM SHAPE AND AIR MOVEMENT GRADE AS IT BORE TO EXISTING GROUND. 2. CONTAINER GROWN STOCK: REMOVE FROM CONTAINER AND SLICE/LOOSEN ROOTS. 3. B&B STOCK: FOLD BURLAP FROM TOP 1/3 OF ROOTBALL. PLASTIC BURLAP IS UNACCEPTABLE. REMOVE ALL WIRE(S) AND ROPE(S). MIN. 3" DEPTH OF SPECIFIED MULCH —— - MIN. 3" TAMPED EARTH SAUCER CONTAINER GROWN STOCK: REMOVE CONTAINER AND SLICE/LOOSEN - SOIL MIX AS SPECIFIED LOOSEN SUBGRADE AROUND BASE -OF BIT TO A DEPTH OF 12" - TAMPED SOIL MIX SHRUB PLANTING

> SOD SHALL NOT HAVE GAPS OF GREATER THAN 1/4" AT JOINTS. SOD SHALL BE SMOOTHLY CUT TO FIT AROUND ALL EXISTING STRUCTURES.

DETAIL APPLIES TO

PRESERVED 2x2x8'

TREE STAKE, PLACE

BEFORE POSITIONING

TREE AND BACKFILLING.

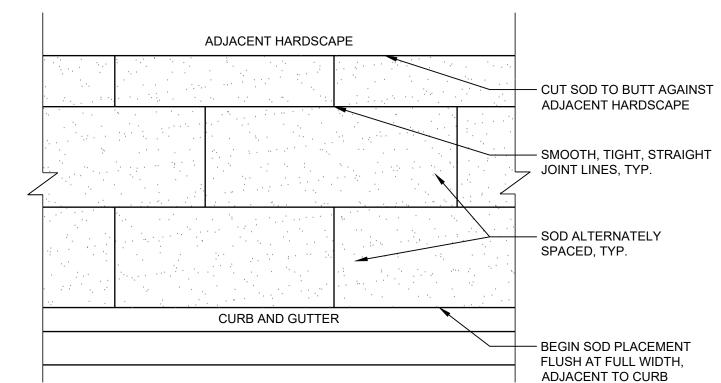
AND HAMMER FIRM

HARDWOOD POLE,

FAST GROWING CONIFEROUS

TREES UP TO 6' IN HEIGHT.

PROPRIETARY TREE TIE MAY



PLANTING PLANS NOTES

CONTRACTOR TO PROVIDE WRITTEN VERIFICATION TO LANDSCAPE ARCHITECT FOR RECEIPT OF ALL LANDSCAPE RELATED PROJECT SPECIFICATIONS PRIOR TO BIDDING AND INSTALLATION.

CONTRACTOR TO PROVIDE SUBMITTALS FOR ALL PLANT MATERIAL PRIOR TO DELIVERY FOR COMPLIANCE WITH APPROVED SPECIFICATIONS.

CONTRACTOR TO PROVIDE WRITTEN DESCRIPTION FOR APPROVAL BY LANDSCAPE ARCHITECT OF ONSITE STORAGE METHODS FOR ANY PLANT MATERIAL NOT INSTALLED ON THE SAME DAY AS DELIVERY.

CONTRACTOR TO PROVIDE VERIFICATION OF PLANT MATERIAL ORDERED FOR CONFIRMATION OF COMPLIANCE WITH APPROVED LANDSCAPE DRAWING SET.

CONTRACTOR TO CAREFULLY EXAMINE THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS BEFORE SUBMITTING BID PROPOSAL OR COMMENCING

CONTRACTOR'S BASE BID TO INCLUDE ALL MATERIALS, LABOR, PERMITS, EQUIPMENT, TOOLS, INSURANCE, ETC. TO PERFORM THE WORK AS DESCRIBED IN

DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS CAUSED BY THE CONTRACTOR ARE THE FULL RESPONSIBILITY OF CONTRACTOR.

CONTRACTOR TO COMPLETE WORK WITHIN SCHEDULE ESTABLISHED BY OWNER.

WORK AND PROVIDE FOR PERMITS REQUIRED BY LOCAL AUTHORITIES.

UTILITIES OR EASEMENTS.

PROVIDE EVEN CONTOURS.

PROVIDE UNIT PRICE FOR ALL MATERIALS (INSTALLED COST) LISTED ON THE PLANT SCHEDULE.

CONTRACTOR TO PROVIDE ONE YEAR WARRANTY FOR ALL MATERIAL FROM DATE OF SUBSTANTIAL COMPLETION.

CONTRACTOR TO PROVIDE ONE YEAR MAINTENANCE PERIOD FOR ALL PLANT MATERIAL PER SPECIFICATIONS FROM DATE OF SUBSTANTIAL COMPLETION. AL TREE STAKES SHALL BE REMOVED BY CONTRACTOR AT END OF MAINTENANCE PERIOD.

PERFORM WORK IN COMPLIANCE WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH

SEE CIVIL DRAWINGS FOR FURTHER INFORMATION REGARDING: EROSION SEDIMENT CONTROL INFORMATION. LOCATIONS OF EXISTING AND PROPOSED STRUCTURES, PAVING, DRIVEWAYS, CUT AND FILL AREAS, AND RETENTION AREAS, LIMITS OF CONSTRUCTION, LOCATIONS OF EXISTING AND PROPOSED

CONTRACTOR SHALL COLLECT THREE (3) SOIL SAMPLES OF EXISTING SOIL FROM AREAS ON SITE TO RECEIVE PLANTING FOR TESTING. EACH SOIL SAMPLE SHALL BE APPROXIMATELY 1 KG. (1 GAL. ZIP LOCK BAG) IN VOLUME AND WILL RECEIVE THE FOLLOWING TESTS BY A CERTIFIED AGRICULTURAL LABS: S1-A, S3

TEXTURE ANALYSIS, INFILTRATION. SEND TEST RESULTS TO LANDSCAPE ARCHITECT.

TOPSOIL SHALL BE NATURAL, FERTILE, FRIABLE, SANDY CLAY LOAM CAPABLE OF SUSTAINING PLANT GROWTH, FREE OF STONES, STUMPS, ETC. FOR ALL TURF LAWN AREAS SPREAD 2-3" OF TOPSOIL INTO EXISTING SOIL TO A DEPTH OF 6" BELOW FINISH GRADE. HAND RAKE FINISHED GRADES TO

ALL PLANTED MATERIAL SHALL BE EQUIVALENT IN QUALITY TO SPECIMEN GRADE OR BETTER, AS NOTED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, LATEST EDITION.

E. PLANT MATERIAL TO BE FREE OF DISEASE, INSECT PESTS, EGGS, OR LARVAE. DAMAGED PLANT MATERIAL SHALL BE REJECTED.

MULCH TO BE CLEAN, FRESH, AND NEW HARDWOOD OR PINESTRAW, 3 INCHES DEEP.

TEST PLANT BEDS AND PLANT PITS FOR ADEQUATE DRAINAGE. WORK SHALL BE MADE BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER. HARDPAN OR MOISTURE BARRIERS SHALL BE BROKEN, OR DRAIN PIPES TO BE INSTALLED TO PROVIDE PROPER DRAINAGE OF PLANT AREAS. PLANT PITS SHALL BE EXCAVATED TO THE BOTTOM OF THE PIT. FILL EACH PLANT PIT WITH WATER AND OBSERVE THE PIT FOR 2 HOURS. IF THE WATER HAS NOT DISSIPATED BY 50% WITHIN 2 HOURS, NOTIFY THE LANDSCAPE ARCHITECT OF SUCH IN WRITING BEFORE INSTALLING PLANTS IN THE QUESTIONABLE AREA(S), OTHERWISE CONTRACTOR SHALL BE HELD LIABLE FOR THE LIVABILITY OF THE PLANT.

PLANT BEDS SHALL BE NEATLY EDGED USING A 3" WIDE BY 6" WIDE DEEP TRENCH. PROVIDE 2/1 SIDE SLOPE BEHIND TRENCH EDGE.

GROUND COVER, SHRUB MASS BEDS SHALL BE CULTIVATED TO A DEPTH OF 12 INCHES BELOW GRADE TO BREAK THROUGH COMPACTED OR HARDPAN SOIL. REMOVE ALL STONES, ROOTS, AND INFERIOR MATERIAL. ADD SPECIFIED SOIL AMENDMENTS AND FERTILIZER. ELEVATE ENTIRE BED 6 INCHES ABOVE ORIGINAL GRADE. RAKE TO A CONSISTENT SMOOTH SURFACE. INSTALL PLANTS, EDGE BED AREA, MULCH AND WATER THOROUGHLY.

SET ALL PLANTS PLUMB AND TURNED SO THAT THE MOST ATTRACTIVE SIDE IS FACES PREDOMINANT VIEW.

I. PLANTS SHALL BE MEASURED TO THEIR MAIN STRUCTURE, NOT TIP TO TIP OF BRANCHES.

REMOVE TOP ONE-THIRD BURLAP OF B & B WRAPPING. REMOVE ALL BINDING. IF ROOTBALL IS WRAPPED IN NON-BIODEGRADABLE BURLAP, REMOVE ENTIRE

WRAP AFTER PLACED IN PIT. . TREE PIT AND SHRUB PIT TO BE TWICE THE SIZE OF THE ROOT MASS. FILL WITH PLANT MIX. SEE DETAILS.

. BROKEN ROOT BALLS FOR TREES SHALL BE REJECTED.

3. ANY PLANT MATERIALS SHIPPED TO SITE IN UNCOVERED VEHICLES/ TRAILER SHALL BE REJECTED REGARDLESS OF SEASON.

9. SPACE SHRUBS EVENLY AND IN STRAIGHT ROWS.

0. ALL TREE SCARS OVER 1 -1/2" SHALL BE REJECTED AND TREE TO BE REPLACED.

. ALL SHRUBS TO BE DENSE AND FULL. ALL PALMS TO HAVE A SYMMETRICAL GROWTH HABIT

SCARIFY ROOT MASS OF SHRUBS BEFORE INSTALLING.

LAYOUT ALL PLANT MATERIAL ACCORDING TO LANDSCAPE DRAWINGS. RECEIVE APPROVAL OF ALL LAYOUTS BY OWNER'S REPRESENTATIVE BEFORE INSTALLATION. LANDSCAPE CONTRACTOR TO MAKE ANY RECOMMENDED ADJUSTMENTS TO LAYOUT AT NO ADDITIONAL COST TO THE OWNER. LANDSCAPE CONTRACTOR RESPONSIBLE FOR ADJUSTMENT OF LAYOUT IN ORDER TO AVOID UTILITIES. NOTIFY OWNER'S REPRESENTATIVE OF CONTEMPLATED ADJUSTMENTS TO THE LAYOUT AND RECEIVE APPROVAL BEFORE COMMENCING.

GENERAL CONTRACTOR TO PROVIDE GRADES TO TWO-TENTHS (.20+) OF A FOOT OF PROPOSED FINISH GRADES.

ALL SHRUBS SHALL BE DENSE AND WELL-BRANCHED FROM BOTTOM TO TOP AND ALL SIDES. "LEGGY" SHRUBS WILL BE REJECTED BY L.A.

CONTRACTOR TO PROVIDE INTERIM MAINTENANCE (WATERING, PRUNING, FERTILIZING, GUYING, MOWING, TRIMMING, ADEQUATE DRAINAGE OF PONDING AREAS, EDGING, WEEDING, MULCHING, APPLICATION OF INSECTICIDES/HERBICIDES, AND GENERAL LANDSCAPE CLEAN-UP) UNTIL SUBSTANTIAL COMPLETION NOTICE IS PROVIDED BY THE OWNER OR LANDSCAPE ARCHITECT.

OWNER'S REPRESENTATIVE SHALL REVIEW PROJECT AT COMPLETION OF INSTALLATION FOR SUBSTANTIAL COMPLETION. FINAL COMPLETION SHALL BE GIVEN AT THE END OF THE WARRANTY PERIOD IF ALL ITEMS ARE COMPLETED TO THE OWNER'S SATISFACTION.

SPREAD MIN 4" OF TOPSOIL ON LANDSCAPE AREAS PER SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO PLANTING BEDS, LANDSCAPE ISLANDS, AND

GRASSED AREAS (SEEDED AND SOD) INCLUDING SLOPES WITH EROSION CONTROL MEASURES

CONTRACTOR SHALL USE STOCKPILED ON-SITE TOPSOIL FOR LANDSCAPE AREAS. IF THERE IS INSUFFICIENT EXISTING TOPSOIL ON SITE TO MEET PROJECT REQUIREMENTS, CONTRACTOR SHALL IMPORT TOPSOIL MEETING SPECIFICATIONS AS NECESSARY AT NO ADDITIONAL COST TO OWNER. IF STOCKPILED TOPSOIL VOLUME EXCEEDS REQUIREMENTS, EXCESS TOPSOIL SHALL BE REMOVED FROM SITE.

PLANT SCHEDULE INCLUDED IN DRAWING SET IS FOR CONTRACTOR'S CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR OWN TAKEOFF PER SYMBOLS

I. ALL PLANT BEDS SHALL BE MULCHED WITH MIN 3" THICK CLEAN PINE STRAW UNLESS OTHERWISE NOTED.

ANY DISTURBED AREA (AS SHOWN ON CIVIL PLANS) NOT SPECIFICALLY SHOWN TO RECEIVE PLANTING ON THIS PLAN SHALL BE HYDROSEEDED (WITH BFM)

WITH BERMUDA GRASS SEED PER PROJECT SPECIFICATIONS.

PLANTING PERIODS SHALL BE FEBRUARY 15 THROUGH MAY 31 AND SEPTEMBER 15 THROUGH NOVEMBER 30. CONTRACTOR SHALL PLAN CONSTRUCTION ACTIVITIES AS NECESSARY TO PLANT DURING THESE TIME PERIODS.

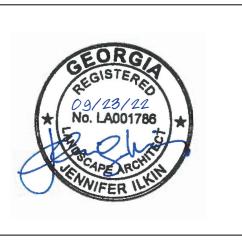
CONTRACTOR IS SOLELY RESPONSIBLE TO ENSURE PERMANENT STAND OF LAWN/GRASS PER PLANS AND SPECIFICATIONS. CONTRACTOR SHALL WATER, DE-WEED, MAINTAIN, AND RE-SEED AS NECESSARY TO ENSURE ACCEPTABLE PERMANENT VEGETATIVE COVER.

CONTRACTOR SHALL ENSURE TREE PLANTINGS ARE INSTALLED PER LATEST PERMITTED PLANS AS APPROVED BY LOCAL MUNICIPALITY. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONSTRUCTION DRAWINGS AND PERMITTED DRAWINGS PRIOR TO INSTALLATION.

EBERLY & ASSOCIATES

TEL770.452.7849 FAX770.452.0086 2951 FLOWERS ROAD SOUTH, STE 11 ATLANTA, GEORGIA 30341

> WWW.EBERLY.NET LAND PLANNING CIVIL ENGINEERING LANDSCAPE ARCHITECTURE



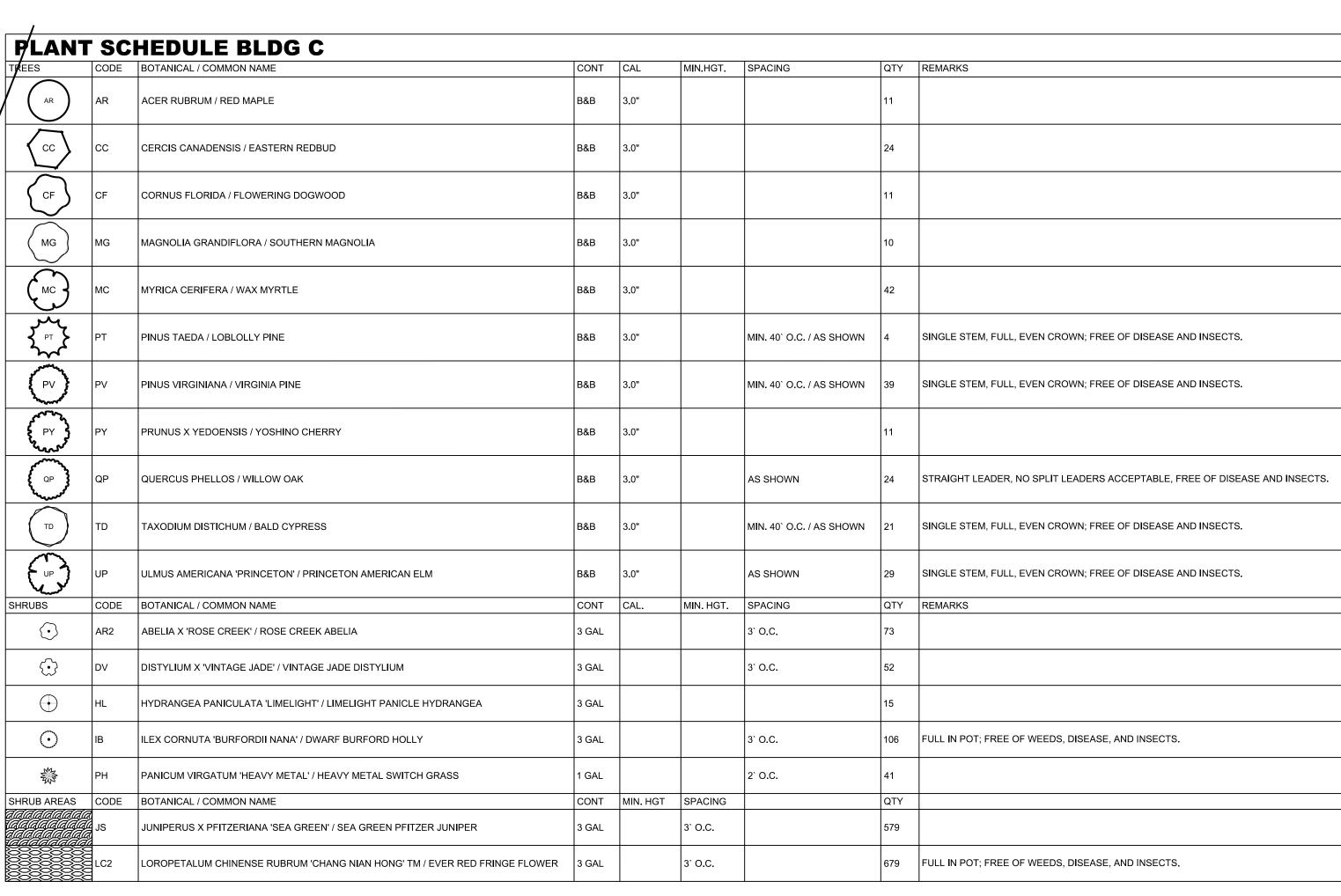
REVISIONS:

05/20/2022 | CONCEPT REVISION 1 06/23/2022 FULTON COUNTY SUB 08/05/2022 FULTON HEALTH DEPT 09/23/2022 | CONCEPT REVISION 2

22-010

CONSTRUCTION

SPACING - REFER TO PLANTING SCHEDULE AND LANDSCAPE PLAN - PINE BARK MULCH, 3" MIN. - FINISHED GRADE, SEE CIVIL PLANS - PLANTING SOIL MIXTURE, 10" MIN., SEE NOTE UNDISTURBED GRADE; SCARIFY PRIOR TO ADDING PLANT SOIL MIXTURE



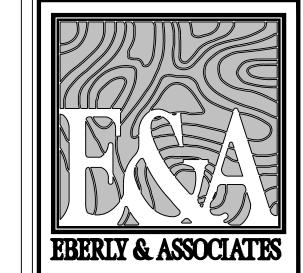
BUILDING C SITE DENSIT	Υ		IMPERVIOUS AREA	
THE GREATER OF 20 UNITS / AC OR 1 UNIT / 2,000 SF IM	MPERVIOUS AREA		THE GREATER OF 20 UNITS / AC OR 1 UNIT / 2,000 SF IMPE	RVIOUS AREA
TOTAL PROPERTY (ACRES)	19.58		TOTAL IMPERVIOUS (SF)	548,401.7
AREA IN 100-YR FLOODPLAIN (ACRES)	0.00		1 UNIT PER 2,000 SF	274.2
AREA IN BUFFER (ACRES)	0.55	OR		
AREA IN UTILITY EASEMENT (ACRES)	0.30		SITE DENSITY FACTOR 'SDF' (MIN. REQUIRED UNITS)	274.2
NET AREA SUBJECT TO SITE DENSITY (ACRES)	18.73			
TIMES MINIMUM UNITS PER ACRE	20.0			
SITE DENSITY FACTOR (MIN. REQUIRED UNITS)	374.6		SITE DENSITY CALCULATION IS GREAT	ER
EXISTING DENSITY FACTOR (EXISTING PRESERVED UNITS)	0.00			

120.60

120.6

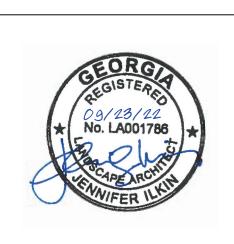
Common Name	Botanical Name	# of		Units per	Total	% of
- Common Name	Dotameal Name	Trees	Min. Ht.	Tree	Units	Units
	OVERSTORY TREES					
RED MAPLE	ACER RUBRUM	11	3.0"	0.6	6.6	5.5%
SOUTHERN MAGNOLIA	MAGNOLIA GRANDIFLORA	10	3.0"	0.6	6	5.0%
LOBLOLLY PINE*	PINUS TAEDA	0	3.0"	0.6	0	0.0%
WILLOW OAK	QUERCUS PHELLOS	24	3.0"	0.6	14.4	11.9%
BALD CYPRESS	TAXODIUM DISTICHUM	21	3.0"	0.6	12.6	10.4%
PRINCETON AMERICAN ELM	ULMUS AMERICANA 'PRINCETON'	29	3.0"	0.6	17.4	14.4%
	OVERSTORY TREES (O.T.) SUBTOTAL	95		O.T. UNITS	57	47.3%
	UNDERSTORY TREES					
EASTERN REDBUD	CERCIS CANADENSIS	24	3.0"	0.6	14.4	11.9%
FLOWERING DOGWOOD	CORNUS FLORIDA	11	3.0"	0.6	6.6	5.5%
WAX MYRTLE*	MYRICA CERIFERA	21	3.0"	0.6	12.6	10.4%
VIRGINIA PINE	PINUS VIRGINIANA	39	3.0"	0.6	23.4	19.4%
YOSHINO CHERRY	PRUNUS X YEDOENSIS	11	3.0"	0.6	6.6	5.5%
*Trees in landscape buffer not counted toward	UNDERSTORY TREES (U.T.) SUBTOTAL	106		U.T. UNITS	63.6	52.7%
density*	TOTAL NUMBER OF TREES	201	TOT	AL UNITS	120.6	100.0°

Common Name	Botanical Name	# of Shrubs	% of Species
ROSE CREEK ABELIA	ABELIA X 'ROSE CREEK'	73	4.7%
VINTAGE JADE DISTYLIUM	DISTYLIUM X 'VINTAGE JADE'	52	3.4%
LIMELIGHT PANICLE HYDRANGEA	HYDRANGEA PANICULATA 'LIMELIGHT'	15	1.0%
DWARF BURFORD HOLLY	ILEX CORNUTA 'BURFORDII NANA'	106	6.9%
SEA GREEN PFITZER JUNIPER	JUNIPERUS X PFITZERIANA 'SEA GREEN'	579	37.5%
EVER RED FRINGE FLOWER	LOROPETALUM CHINENSE RUBRUM 'CHANG NIAN HONG'	679	43.9%
HEAVY METAL SWITCH GRASS	PANICUM VIRGATUM 'HEAVY METAL'	41	2.7%
	NUMBER OF SHRUBS	1,545	100.0



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CIVIL ENGINEERING LANDSCAPE ARCHITECTURE



BUILDING

REVISIONS: 05/20/2022 | CONCEPT REVISION 1 06/23/2022 FULTON COUNTY SUB 08/05/2022 FULTON HEALTH DEPT 09/23/2022 | CONCEPT REVISION 2

APE CALCULATIONS & HEDULE BLDG C	
N.T.S.	
03/14/2022	
CL	
SER:	
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PROJECT NO.

22-010

ISSUED FOR CONSTRUCTION

7 SHRUBS / DENSITY UNIT REQUIRED

254 UNITS TO BE PROVIDED TO TREE BANK

SHRUB REQUIREMENT

374.6 DENSITY UNITS REQUIRED 2,622 SHRUBS REQUIRED SHRUBS PROVIDED: 1,545

BLDG. C VEHICULAR USE AREA PERIMETER LANDSCAPE REQUIREMENT

5' LANDSCAPE AREA OUTSIDE V.U.A. (PAVED AREA ONLY) 3,480 LF OF PERIMTER X 5' = 17,400 SF REQUIRED 17,400 SF STRIP PROVIDED 1 TREE PER 250 SF = 70 TREES REQUIRED 70 TREES PROVIDED

REPLACEMENT DENSITY FACTOR (PROPOSED UNITS)

TOTAL SITE UNITS PROVIDED

Landscape perimeter trees: Willow Oak, Red Maple, Redbud, Yoshino Cherry (50% 3" UNDERSTORY TREES (.6 UNITS), 50% 3" OVERSTORY TREES (.6 UNITS)) REQUIREMENT MET

BLDG. C VEHICULAR USE AREA INTERIOR LANDSCAPE

REQUIREMENT 10% OF V.U.A. (TRUCK COURTS INCLUDED) EXCLUSIVE OF PERIMETER LANDSCAPE AREA REQUIRED 1 TREE / 250 SF OF INTERIOR LANDSCAPE AREA REQUIRED 298,315 SF V.U.A. PROPOSED, 10% = 29,832 INTERIOR LANDSCAPE AREA REQUIRED INTERIOR LANDSCAPING PROPOSED: 28,606SF TREES REQUIRED:119 PROPOSED TREES: 119 (ALL INTERIOR LANDSCAPE AREAS MINIMUM 10' WIDTH) Interior landscape trees: Bald Cyrpress, Southern Magnolia, Virginia Pine, Wax Myrtle

(50% 3" UNDERSTORY TREES (.6 UNITS), 50% 3" OVERSTORY TREES (.6 UNITS)) REQUIREMENT MET

OPEN SPACE REQUIREMENT

242,474 SF (4.89 AC, 28%) PROVIDED

Amenity area with tables & chairs and planting provided

TOTAL AREA OF SITE = 852,904.8 SF (19.58 ACRES)

30% REQUIRED OR 20% IMPROVED OR 10% IMPROVED WITH PUBLIC ACCESS 255,871SF (5.78 AC, 30%) REQUIRED



CITY OF FAIRBURN PLANNING & ZONING COMMISSION AGENDA ITEM

SUBJECT:	USE PERMIT	2022127 BCV	<i>N</i> ENTERPR	ISES, INC

() AGREEMENT () ORDINANCE	* *	() CONTRACT (X) OTHER	
Submitted: 09/09/22	Planning Commission: 11/01/22	City Council: 12/12/22	
DEPARTMENT : Con	nmunity Development, Planning and Zor	ning Office	
BUDGET IMPACT : N	None		
PUBLIC HEARING:	() Yes (X) No		

<u>PURPOSE</u>: For the Planning Zoning Commission to review a use permit for a group home/shelter for six (6) adult males.

<u>DESCRIPTION</u>: The applicant is requesting the approval of a use permit to allow a group home/shelter for six (6) adult males at 98 Orchard Street. The property is zoned R-3 (Single-family Residential) and consists of 0.50 acres of land. The AG (Agricultural) zoning district does not allow group homes/shelters by right, rather it allows an applicant to make a request for consideration of a use permit.

This group home/shelter would accommodate transitional housing to six (6) adult males. The proposed operation would be to have two persons to a room for up to twelve (12) months of housing. This facility would have 24-hour staffing with three (3) rotating shifts. This would include behavioral specialist, house director and assistant director, and house counselors.

The existing facility has three (3) off-street parking spaces, and the only transportation available for residents would be via care support team. Residents will not have access to personal vehicles. The parking would be utilized by staff only. The applicant stated that this use would not cause any disruption in traffic flow.

APPLICATION INFORMATION

Use Permit Petition 2022127

APPLICANT/PETITIONER INFORMATION

Property Owner Petitioner

Lakes Georgia Properties, LLC BCW Enterprises, Inc

PROPERTY INFORMATION

Address: 98 Orchard Street [parcel # 09F170900670486]

Land Lot and District: Land Lot 101, District 25

Frontage:	Orchard Street & Strickland Street
Area of Property:	+/- 0.50 acres
Existing Zoning and Uses:	R-3 (Single-family Residential)
Prior Zoning Cases/History:	N/A
Overlay District:	N/A
2035 Comprehensive Future Land Use Map Designation:	Town Center Mixed-use

MEETING AND HEARING DATES

Planning and Zoning Commission MeetingCity Council Public HearingTuesday, November 1, 2022Monday, December 12, 2022

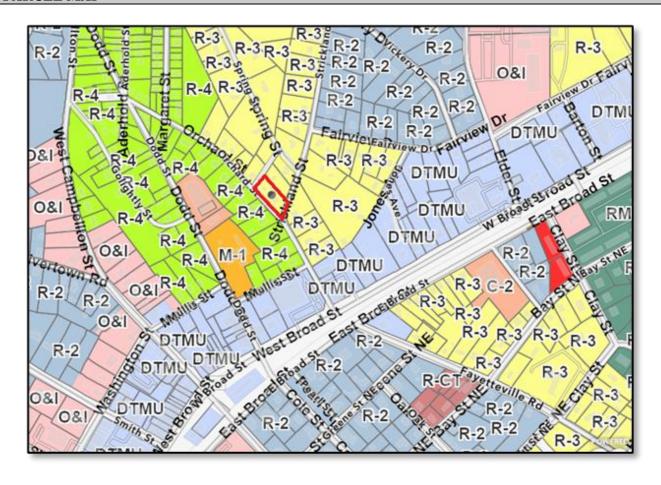
EXISTING ZONING AND LAND USE OF ABUTTING PROPERTIES

North: R-3 (Single-family Residential)

South: R-3 (Single-family Residential) & R-4 (Single-family Residential)

East: R-3 (Single-family Residential) **West:** R-4 (Single-family Residential)

PARCEL MAP



ZONING MAP & FUTURE LAND USE MAP



Purple = Town Center Mixed Use

STAFF COMMENTS

Fire

- 1. The building is required to be protected throughout by an approved automatic sprinkler system, pursuant to NFPA 101. Section 32.3.3.5.
- 2. A fire alarm system is required pursuant to NFPA 101, Section 32.3.3.4.1 through 32.3.3.4.3 and 32.3.3.4.6.
- 3. Smoke detectors are required to be provided in accordance with NFPA 101, Section 32.3.3.4.8.
- 4. Every bathroom door shall be designed to allow opening from the outside during an emergency when locked.

USE PERMIT CRITERIA

Section 80-172 Use Permit Considerations: Staff has reviewed said items pertaining to the subject use and offers the following comments:

- 1. Whether the proposal use is consistent with the comprehensive land use plan adopted by the city council; Staff finds this proposal is consistent with the 2040 comprehensive land use plan. The subject property is in the Town Center Mixed Use Character Area and the 2040 Comprehensive Plan states the appropriate uses are:
 - Mixed Use
 - Civic/Institutional/Educational
 - Residential (all types)
 - Commercial/Retail/Office

The Town Center Mixed Use Character Area encourages a mix of uses and various housing types. The close proximity to Downtown Fairburn is ideal for a wide range of uses that encourages transit usage and maintains the integrity of interconnected grid and pedestrian circulation.

The appropriate zoning district in the Residential Character Area are RM-12, RM-36, R-3, R-4, R-CT, and O&I.

2. Compatibility with land uses and zoning districts in the vicinity of the property for which the use permit is proposed;

Staff finds that this proposal is compatible with surrounding land uses and zoning. The area consists of single-family homes and is approximately 700-feet from West Broad Street and Downtown Fairburn.

3. Whether the proposed use may violate local, state and/or federal statutes, ordinances or regulations governing land development;

The proposed use does not violate any known statutes, ordinances, or regulations governing land development. The applicant will be required to submit copies of applicable local, state, and federal permits and/or licenses required for a group homes/shelters prior to the issuance of a certificate of occupancy and business license.

4. The effect of the proposed use on traffic flow, vehicular and pedestrian, along adjoining streets;

The proposed use of the land for a group home/shelter does not appear to create a nuisance on traffic flow, vehicular nor pedestrian.

5. The location and number of off-street parking spaces;

The application proposes 3 parking spaces, which appear to meet the need for parking on the site. This proposal limits vehicular traffic to staff driving to the site and a passenger van to transport residents.

6. The amount and location of open space;

The property is \pm 0.50 acres and has enough open space to allow for outdoor activities without creating a nuisance.

7. Protective screening;

The adjacent residential properties do not require any type of buffers based on application of the zoning regulations. This proposal does not propose to remove any of the existing vegetation nor the existing fence.

8. Hours and manner of operation;

The proposed use would have staff at the location 24-hours a day along with residents that would be living at the home. The applicant has stated that staff will typically be two (2) people but not more than three (3) at any given time.

9. Outdoor lighting; and

The applicant is proposing security lighting at the front and rear doors of the existing structure.

10. Ingress and egress to the property

The one ingress/egress point for the property is located on Orchard Street.

STAFF RECOMMENDATIONS

Staff finds that the use permit request to allow a group home/shelter at 98 Orchard Street does conform with the 2040 Comprehensive Plan and Future Land Use Map. The Future Land Use Map designates the subject property as Town Center Mixed Use, which identifies a mix of uses as the intended development. It does not appear that the proposed use of the property for a group home/shelter would cause a detriment to the adjacent or near nearby properties and should not have a significant impact on traffic flow.

Staff recommends <u>APPROVAL with CONDITIONS</u> of the request for a use permit for a group home/shelter at 98 Orchard Street. Staff recommends the following conditions:

- 1. Group home/shelter use is authorized if and only if the regulatory improvements for this occupancy maintain the residential character of the structure and site. The intent is for this condition to apply primarily to the exterior of the structure, but certain improvements may impact the interior as well. The determination of whether the improvements are residential in nature shall be made by the Planning and Zoning Director. If the improvements negatively impact the residential character, the land use is not permitted. Such minor improvements as accessible parking or accessible ramps shall not be considered to negatively impact the residential character of the property.
- 2. There shall be a maximum of six (6) residents authorized to reside at the group home/shelter at any given time.
- 3. For as long as this group home/shelter use is carried out on the site, parking shall be limited to staff and visitors. No resident vehicles are permitted to remain on the property for more than 24 hours at a time. Passenger vans may remain on the property for a period of 24 hours maximum for the purpose of loading and unloading people and supplies. Long-term storage of any vehicles is prohibited.
- 4. No more than two guests are allowed on the premises at the same time.
- 5. An occupational tax certificate is required prior to initiation of group home/shelter use.
- 6. Requisite state certifications and licenses shall be obtained prior to issuance of occupational tax certificate for the group home/shelter.

ATTACHMENTS

Exhibit A: Letter of Intent Exhibit B: Application



PROJECT: H.O.P.E. "Helping our People to Elevate"

A Plan to implement "transitional housing program with the primary goal of helping families move from homelessness to permanent housing and from dependency to self-sufficiency.

Target Location: Atlanta, Georgia

BCW ENTERPRISES, INC.

www.bcwenterprisesinc.org



MELLIES HOUSE Transitional Housing for Displaced Families

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Executive Summary

The homeless crisis in Atlanta, GA. and globally has been increasing and demands for an urgent, and coordinated response from community partners throughout the region is direly needed. As of January 2020, Georgia had an estimated 10,234 experiencing homelessness on any given day, as reported by Continuums of Care to the U.S. Department of Housing and Urban Development (HUD). Of that Total, 864 were family households, 764 were Veterans, 504 were unaccompanied young adults (aged 18-24), and 1,374 were individuals experiencing chronic homelessness.

Mellies House, along with the support of cities, other local governmental agencies, health care providers, nonprofit organizations, business and faith community partners, and other stakeholders are committed to ending homelessness in Atlanta, GA and Globally.

It is critical to create a Homeless Response System that works collectively to connect people to housing quickly so that homelessness is a rare and brief occurrence. We will strive to quickly identify and engage people at risk of and experiencing homelessness; Provide people with immediate access to shelter and crisis services without barriers to entry if homelessness does occur; and expeditiously connect people experiencing homelessness to housing assistance and services tailored to their unique needs and strengths to help them achieve and maintain stable housing. Mellie's House also proposes to implement a training center to provide an array pf educational programs in order to provide our clientele with skills and opportunities to prevent reentry in homelessness.

The proposed program will provide 1 Housing Unit with 6 individual rooms and will house two adults per room. It is our goal to provide displaced individuals with up to twelve months of housing. The individuals will be required to participate in case management, support groups, therapy, job training etc. offered by Mellie's House.



CAUSES OF HOMELESS

Housing is often identified as a critical and missing link in preventing recidivism in the criminal justice system. Despite the expansion of evidence-based housing practices in many communities, homelessness remains a major problem for those in the justice system and those with unmet behavioral health needs. According to some estimates, as many as 50% of homeless people have been incarcerated at some point. Furthermore, people in jail have experienced homelessness 7.5 to 11.3 times more than people in the general population. Other statistics show an estimated one third of the homeless population has had an unaddressed mental health condition.

According to the National Coalition for the Homeless, the leading causes of homelessness includes the lack of affordable housing, poverty (influenced by the lack of employment opportunities and the decline in public assistance), lack of affordable health care, domestic violence, mental illness and addiction

Although FEMA and organizations such as the Red Cross provide immediate assistance for victims of natural disasters, individuals already living in poverty or without support systems may not be able to find new permanent housing options.

Health Care as a Concern

Treatment and preventive care can be difficult to access for people who are experiencing homelessness. This is often because they lack insurance or have difficulty engaging healthcare providers in the community.

Mellie's House will serve as a liaison to ensure our clients will have proper access to the care they need.

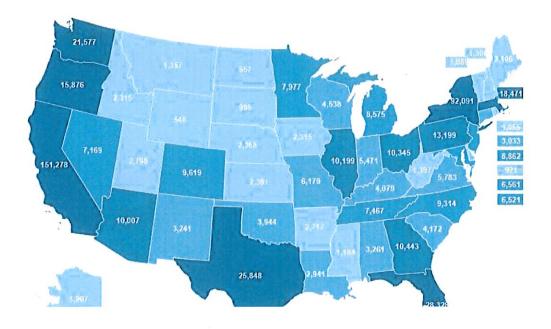


Justification of Need

National Level:

- In January 2018, 553,000 people were homeless on a given night in the United States; of that number, 180,413 were people in families, and 372,417 were individuals.
- Homelessness increased by 0.3% overall between 2017 and 2018.
- Homeless Veterans make up approximately **37,878** of all homeless adults.
- About 36,361 of those were unaccompanied homeless youth and children, under the age of 25.

Total People Experiencing Homelessness



Filter by Data Source

Point-in-Time Count Data

Total People Experiencing Homelessnes:

Percentage of Total Homelessness by State

Total Family Households Experiencing Homelessness

Total Veterans Experiencing Homelessness

Total People Experiencing Chronic

Homelessness

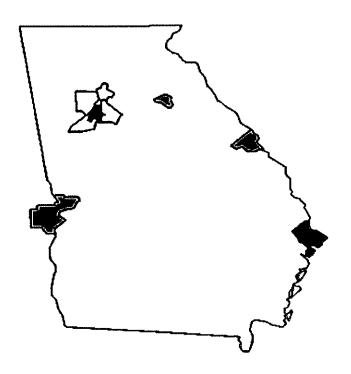
Total Unaccompanied Young Adults (Age 18-24) Experiencing Homelessness



Georgia's Total Homeless Population Total Family Households Experiencing Homelessness Veterans Experiencing Homelessness 864 Persons Experiencing Chronic Homelessness 764 Unaccompanied Young Adults (Aged 18-24) 1,374 Experiencing Homelessness

Georgia:

- On a given night in Georgia there are approximately 10, 234 homeless on a given night
- Data collection in 2020 found there are approximately 3,200 homeless people within the City of Atlanta's on a given night including people living on the street, in emergency shelters, and transitional shelters





- MELLIES HOUSE -

Our Vision

ULTIMATELY THERE WILL BE NO PERSON LEFT LIVING WITHOUT SHELTER

Our Mission

To reduce the number of veterans, single mothers, men and LGBTQ youth living without shelter. To be the resource and main response organization for people unsheltered.

Our Primary Principal

- All people deserve a safe and sustainable place to live
- Urgent care, competency and care is needed for displaced individuals
- Our homeless crisis response systems respond to the urgency of homelessness to ensure everyone has a safe and appropriate place to live.
- Our system will target and prioritize resources for people with the greatest needs, so they are quickly "screened in" for housing assistance.
- Our homeless crisis response system will aim to provide people with housing and then offer additional supports and voluntary services as needed.
- This approach is anticipated to yield higher housing retention rates, and lower returns to homelessness.

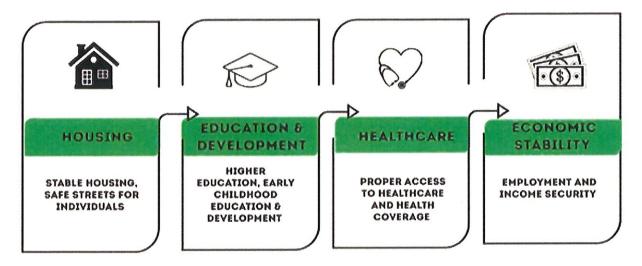
Products and Services

Mellie's House will meet the needs of the homeless population via our products and services:

- Basic Sheltering
- Provision of basic necessities
- Educational assistance
- Job placement assistance
- Healthcare access assistance



A FRAMEWORK FOR PROVIDING SERVICES TO OUR CLIENTS



Marketing

Maintaining a good public image and successfully reaching out to those seeking shelter is essential to the achievement of the organization's purpose.

Marketing Concept:

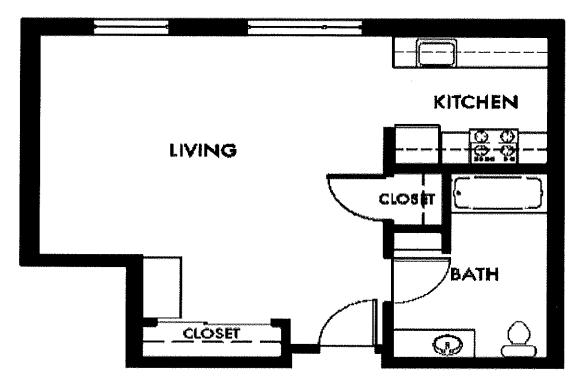
- Centered around the wide range of people who can suffer from homelessness, breaking down the stigma of the term, and the importance of people helping other people
- Will promote its charitable efforts through its website, social media, online listings/digital campaigns, attendance at community events, hosting fundraising and awareness events.
- In person donor canvassing, in-person homeless outreach, press releases, story placement, and interviews.
- Mellie's House will continually control its marketing efforts through the use of surveys and public perception analyses and will adjust these efforts whenever possible in order to optimize its overall marketing strategy.

Potential Economic Challenges:

- Inability to garner necessary donations, Donor fatigue going forward
- Legal: Zoning issues, Permit/License issues, IRS issues
- Social: Stigmatization of the homeless, Internal facility conflicts, Inability to obtain local support



Infrastructure and Potential Layout



OUR PROJECTED AMENITIES

- Large community room
- Outdoor Community Courtyard.
- Smoking is not allowed in any property; paints, sealants, and cabinets have low/no VOCs and no formaldehydes; and fresh air is supplied to each apartment.
- Get high-speed internet in our computer lab or access Wi-Fi in the community room and courtyard.
- On-site Laundry Facilities on Every Floor.
- Secure Key-Less Access.
- Extra insulation keeps you warm and saves on your heating bills.



CURRENT ZONING: R3

USE PERMIT REQUEST:

APPLICATION FOR USE PERMIT

City of Fairburn Community Development Department 26 W. Campbellton Street Fairburn, GA 30213

Date Received: 9-9-2022 Fairburn, GA 30213
USE PERMIT#: 2022127 (Office Use Only)
APPLICANT INFORMATION
Applicant Name: BCW Enterprises Inc
Address: 98 Orchard St. Fairburn GA 30213
Phone: 470 300 1980 Cell: 770 310 5375 Fax: 470 220 7500
Email Address: bwilliams @bcwenterprisesinc.org
OWNER INFORMATION (If different from Applicant)
Owner Name: Rubon La Gos
Address: 107 Smokeris Drive Perchtree City ha 30269
Phone: 770 482 429 Cell: Fax: NA
Email Address: Ruben hasol@ yaloo. (Om
PROPERTY INFORMATION
Address: 98 Orchard St. Fairburn GA 30213
Parcel ID#: 09F170 900670486 Land Lot: 101 District: 25
SECTION 1 USE PERMIT REQUEST
Office use only: USE PERMIT CASE # ROAD FRONTAGE:
Under the provisions of Chapter 80, Article IV of the Zoning Ordinance, application is hereby made to obtain a Use Permit as follows:

SECTION II

OWNER/PETITIONER

NOTICE: Part 1 and/or Part 2 below must be signed and notarized when the petition is submitted. Please complete Section IV as follows:

- a) If you are the sole owner of the property and not the petitioner complete Part 1.b) If you are the petitioner and not the sole owner of the property complete Part 2.
- c) If you are the sole owner and petitioner complete Part 1.
- d) If there are multiple owners each must complete a separate Part 1 and include it in the application.

legal description, which is made part	is the owner of the property described in the attached
TYPE OR PRINT OWNER'S NAME ADDRESS CITY & STATE CITY &	Sworn to and subscribed before me this the Day of August 20 23 NOTARY PUBLIC PHONE NEW Public, Dekalb County, Georgia My Commission Expires July 11, 2023
Power-of-Attorney for the owner (at name above as "Owner"); (2) he/she l of the contract and type name of own	he/she is the executor or Attorney-in-fact under a tach a copy of the Power-of-Attorney letter and type has an option to purchase said property (attach a copy her above as "Owner"); or (3) he/she has an estate for apply (attach a copy of lease and type name of owner
TYPE OR PRINT PETITIONER'S NAME 13 Wysthrope Point ADDRESS CITY & STATE ZIP CODE PETITIONER'S SIGNATURE BINILLANS O BUY ENTERPRISES LNC. ORG	Sworn to and subscribed before me this the Day of Aggast 20 Al NOTARY PUBLIC PHONE DEPORAH D. WILLIAMS Notary Public, Dekalb County, Georgia
EMAIL ADDRESS SECTION V ATTORNEY / Check One: [] Attorney [] Agent	my Commission Expires July 11, 2023
TYPE OR PRINT ATTORNEY / AGENT NAME	EMAIL ADDRESS
SIGNATURE OF ATTORNEY / AGENT	PHONE NUMBER
ADDRESS	PETITIONER'S SIGNATURE
CITY & STATE ZIP CODE	



USE PERMIT CONSIDERATIONS

Applicant: BCW Enterprises Inc.	
Analyze the impact of the proposed use permit with the following questions:	
1. Whether the proposed use is consistent with the comprehensive land us Council? Mellie's House was strategica align with Atlanta's Comprehensive See attached	lly set up to
2. Compatibility with land uses and zoning districts in the vicinity of the permit is proposed? Mellie's House purposes property to provide transitional l'adult males See attached	is to use this
3. Whether the proposed use may violate local, state, and/or federal status governing land development? Mellie's House will not local, state, and/or federal statues, ord while occuping this location and will re-	t Violate any linances or regulation
The effects of the proposed use on traffic flow, vehicular and pedestrian This location will add no addition Concens to the area. See a Hacked	, along adjoining streets?
5. The location and number of off-street parking spaces? (3) off Spaces are located to the v home See attached	street parking rear of the
6. The amount and location of open spaces? We have 3-L clepending on SIZE of Vehicle	
7. Protective screening? Individuals / Staff Will a Criminal bra back ground check see attached	
8. Hours and manner of operation? 24 hr onsite sta	iffing (3 shifts)

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Ingress and e	gress to the pr	egress	in ot	Cown	nana	tor	P84

PUBLIC PARTICIPATION PLAN

Ap	plicant: BCW Enterprises Inc.
1.	political jurisdictions, other public agencies, etc., will be notified:
	See attachment:
2.	The individuals and others listed in 1. above will be notified of the requested rezoning/use permit using the following method(s): (e.g., letters, meeting notices, telephone calls, e-mails, etc.)
	Individuals listed were notified by a face to
	face visit, letters will be mailed to invite
	the community to an open house, packets
	were given to individuals outlining information
	Concerning Mellie's House
3.	Individuals and others listed in 1. above will be allowed to participate in the following manner: (At least one meeting at a convenient time and location is required.)
	Open House w/ open forum for questions and
	Concerns
	Date:
	Time:

PUBLIC PARTICIPATION PLAN REPORT

Аp	plicant: BCW Enterprises Inc Petition No.
Da	te:
1.	The following parties were notified of the requested rezoning/use permit:
	Cathline (resident) 95 Orchard St 30213, Sam Williams
	105 Orchard St 30213, Ray Brittenium 139 Orchard
	St 30213, Lisa Steer 120 Orchard St 30213, Contattad
2.	The following meetings were held regarding this petition: (Include the date, time, and meeting location.)
3.	The following issues and concerns were expressed:
<i>J</i> .	
	Mental Stabilty of people that will occupy home,
	Supervision, staffing, prior arrest
4.	The applicant's response to issues and concerns was as follows:
	all individuals living at this location will be mentally
	stable, 24 supervision/staffing in policy, all
	individuals will have a back ground check that is
	with their legal rights authorized by the state of GA
5.	Applicants are required to attach copies of sign-in sheets from meetings as well as meeting announcements, i.e., notices, flyers, letters, and any other documentation which supports the opportunity for public input.

APPLICATION FOR USE PERMIT

APPLICANT INFORMATION

Applicant Name: BCW Enterprises Inc

Address: 98 Orchard Street, Fairburn Ga 30213

Phone: (470) 300-1980 Cell: (770) 310-5375 Fax: (470) 220-7500

Email Address: bwilliams@bcwenterprisesinc.org

USE PERMIT CONSIDERATIONS

Analyze the impact of the proposed use permit with the following questions Attachment:

1. Whether the proposed use is consistent with the comprehensive land use plan adopted by the City Council?

Mellie's House was strategically set up to align with Atlanta's Comprehensive Land Use. The proposed Group Home is set up with direct access to transportation, local shopping and dining. Our goal is to maintain both the exterior and aesthetics of the home in conjunction with the neighborhood's colonial outline. It is our goal to add to the economic development, and preservation of the land through use of projected funding, donations and other stakeholder's support. We will strive to uphold the overall integrity of this land and will make any needed adjustments to stay within the guidelines of Atlanta's City Council.

Mollies House also plans to create an atmosphere of family life while individuals occupying this home transition into a more permanent lifestyle. This environment will provide the road map to what it means to have a home that provides a good quality of life. A place where there are good neighbors, and convenient accessibility to resources.

2. Compatibility with land uses and zoning districts in the vicinity of the property for which the use permit is proposed?

Mellie's House purposes is to use this property to provide transitional living for 6 Adult males, who are in need of support with obtaining permanent housing after experiencing extreme poverty related issues.

3. Whether the proposed use may violate local, state, and/or federal statues, ordinances or regulations governing land development?

Mellie's Houses will not violate any local, state and/or federal statues, ordinances or regulations while occupying this location and will report any unlawful acts to the proper authorities immediately.

4. The effects of the proposed use on traffic flow, vehicular and pedestrian, along adjoining street?

Mellie's House will add no additional traffic concerns to the area. Care support will be the only vehicles occupying the area at any given time. Transportation will be provided by the care team or public transportation that is already provided by the City of Fairburn. Also, Mellie's House as adequate off-street parking that will not interfere with neighbors.

Our group home is located on a quiet block with a minimized amount of traffic flow. Furthermore, Mellie's House is projected to be comprised of young adults who are aware of their surroundings and safety. If our clients are placed with their own vehicles, they will be given the Rules and regulations of the home, both for in house, outside and driving.

Our home is also set up as a safe zone located near public buses, police stations, social service facilities to further ensure the safety of our clients and neighborhood overall thus to limit any vehicular concerns.

5. The location and number of off-street parking spaces?

We have three off-street parking spaces to prevent overcrowding on the main street. This will add to the proper flow of traffic and avoid any incidents from occurring.

6. The amount and location of open spaces?

We have approximately three open spaces. Off street parking is in the rear of Mellie's House

7. Protective screening?

All individuals and supportive care staff will receive a criminal alert background check to ensure that all occupancy guidelines for this are followed according to the policies of Fairburn.

8. Hours and manner of operation?

Mellie's House will provide a safe secure, and supportive home for adults ages 18-45 who are displaced from all walks of life. We will offer:

- * 24 Hour On-Site Staffing (3 shifts)
- * 7am-3pm, 3pm-11pm and 11pm-7am
- * We will also offer Per Diem On-Call Staff to push into regular shifts in the event of a staff call out or emergency.
- * Behavioral Specialist
- * House Director & Assistant Director

- * House Counselors
- * A Transportation Network to Ensure Access to Employment, Recreation & Social Activities
- 9. Outdoor lightning?

Our outdoor lighting will consist of security lighting to ensure continual monitoring of the home, staff, residents and neighborhood. This will help to provide proper lighting and safeguard any suspicious activity. Our security lighting will be located on the front and back house.

10. Ingress and egress to the property?

There will be a proper chain of commands for both ingress and egress procedures.

Our door (front and back) will have a security code for approved staff members to enter and exit the facility. These codes will be highly monitored and changed monthly. The codes will be secured and monitored by our administrative team. If a staff member is relieved of duty, the code will be immediately changed, and the staff will no longer have access to enter or exit facility. Residents will not have access to these codes as the respected staff member will be available to let a resident in and out.

Application for Use Permit

Public Participation Plan Report Attachment

Page 12,13

Caroline (Resident) 95 Orchard St 30213

Sam Williams 105 Orchard St 30213

Ray Brittenium 139 Orchard St. 30213

Lisa Steer 120 Orchard St. 30213

Inga Kennedy 110 Orchard St 30213

Mike Seaborn 90 B Orchard St 30213

Terrell Seaborn 90 A Orchard St 30213

Enon Hopkins 84 Orchard St 30213

Sherry and Ben Rivers 74 Orchard 30213

Malik and Phelisa Newman 64 Strickland 30213

Teresa Parrott 52 Strickland 30212



CITY OF FAIRBURN PLANNING & ZONIING COMMISSION AGENDA ITEM

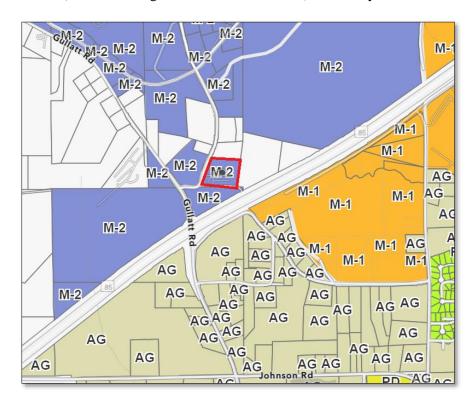
SUBJECT: USE PERMIT 2022125 LOGISTICS ACQUISITIONS, LLC

() AGREEMENT() ORDINANCE	() POLICY / DISCUSSION() RESOLUTION	() CONTRACT (X) OTHER			
Submitted: 09/09/22	Planning Commission: 11/01/22	City Council: 12/12/22			
DEPARTMENT: Community	<u>DEPARTMENT</u> : Community Development, Planning and Zoning Office				
BUDGET IMPACT: None					
PUBLIC HEARING: () Ye	es (X)No				

PURPOSE: For the Planning Zoning Commission to review a use permit for a truck terminal at 8105 Cleckler Road.

<u>DESCRIPTION</u>: The applicant is requesting the approval of a use permit to allow a truck terminal at 8105 Cleckler Road. The property is zoned M-2 (Heavy Industrial) and consists of (+/-) 4.3 acres of land. The M-2 (Heavy Industrial) zoning district does not allow truck terminals by right, rather it allows an applicant to make a request for consideration of a use permit.

This property was previously a truck terminal for JB Hunt Transport Services, Inc. The use was abandoned for longer than six (6) months so the nonconforming use on the property is no longer allowed to continue or be re-established, pursuant to Section 80-243 (nonconforming lots, uses, and structures) of the City's Code of Ordinances.



APPLICATION INFORMATION

Use Permit Petition 2022125

APPLICANT/PETITIONER INFORMATION

Property Owner Petitioner

Cle I, LLC Logistics Acquisitions, LLC

PROPERTY INFORMATION	
Address:	8105 Cleckler Road [parcel # 07290001560699]
	Land Lot 157, District 7
Land Lot and District:	
Frontage:	Cleckler Road
Area of Property:	+/- 4.3 acres
Existing Zoning and Uses:	M-2 (Heavy Industrial)
Prior Zoning Cases/History:	N/A
Overlay District:	N/A
2035 Comprehensive Future Land Use Map	Industrial
Designation:	

MEETING AND HEARING DATES

Planning and Zoning Commission Meeting City Council Public Hearing

Tuesday, November 1, 2022 Monday, December 12, 2022

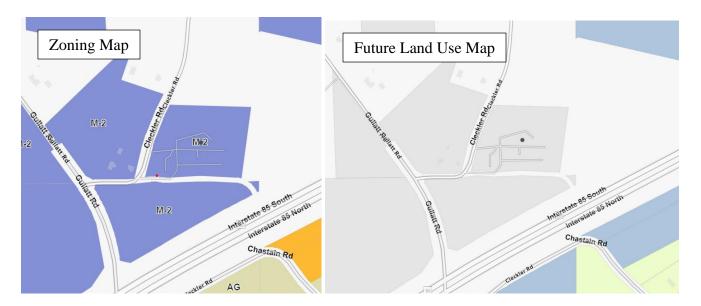
EXISTING ZONING AND LAND USE OF ABUTTING PROPERTIES

North: City of South Fulton
South: M-2 (Heavy Industrial)
East: City of South Fulton
West: M-2 (Heavy Industrial)

PARCEL MAP



ZONING MAP & FUTURE LAND USE MAP



Dark Grey = Industrial

Blue = Office/Industrial

Green = Rural Residential

STAFF COMMENTS

Planning & Zoning

- 1. On-site security shall be provided by the owner or operator of the truck stop 24 hours a day, seven days a week.
- 2. No long-term storage of trailers or trucks shall be allowed on the lot.
- 3. No overnight or sleeping facilities shall be provided on the lot.

Engineering

1. The ingress and egress to the property must conform the GDOT Regulations for Driveway and Encroachment Control with regard to driveway/entrance spacing & placement requirements. As such, the minimum distance between the proposed access points is 125 feet, from radius return to radius return. This should be verified.

USE PERMIT CRITERIA

Section 80-172 Use Permit Considerations: Staff has reviewed said items pertaining to the subject use and offers the following comments:

1. Whether the proposal use is consistent with the comprehensive land use plan adopted by the city council; Staff finds this proposal is consistent with the 2040 comprehensive land use plan. The subject property is in the Industrial Character Area and the 2040 Comprehensive Plan states the appropriate uses are:

- Manufacturing, Processing, and Fabrication
- Warehousing and Storage
- Automobile and Truck Sales and Maintenance
- Printing and Publishing

The Industrial Character Area is solely dedicated to industrial uses such as manufacturing, warehousing, fabrication, and processing.

The appropriate zoning district in the Residential Character Area are M-1 and M-2.

2. Compatibility with land uses and zoning districts in the vicinity of the property for which the use permit is proposed;

Staff finds that this proposal is compatible with surrounding land uses and zoning. The area consists of industrial uses in the City of Fairburn and City of South Fulton along Cleckler Road and Gullatt Road.

3. Whether the proposed use may violate local, state and/or federal statutes, ordinances or regulations governing land development;

The proposed use does not violate any known statutes, ordinances, or regulations governing land development. The applicant will be required to comply with all City of Fairburn regulations.

4. The effect of the proposed use on traffic flow, vehicular and pedestrian, along adjoining streets;

The proposed use of the land for a truck terminal does not appear to create a nuisance on traffic flow, vehicular nor pedestrian, as this was previously an existing use.

5. The location and number of off-street parking spaces;

The application proposes a gravel truck terminal that would only be used for truck and trailer parking.

6. The amount and location of open space;

The property is +/- 4.3 acres and the applicant is not proposing any new lot coverage. The lot would remain gravel and accommodate trucks and trailers temporarily parking on the site.

7. Protective screening;

The adjacent properties are zoned industrial; therefore, there are no adjacent uses that would benefit from the addition of any protective screening. The applicant is proposing a 6-foot chain link fence with 3 rows of protective barb wire.

8. Hours and manner of operation;

The proposed hours of operations are from 8am – 6pm.

9. Outdoor lighting; and

The applicant is proposing security lighting on the site.

10. Ingress and egress to the property

The are two ingress/egress point for the property is located on Cleckler Road that are existing.

STAFF RECOMMENDATIONS

Staff finds that the use permit request to allow a truck terminal at 8105 Cleckler Road does conform with the 2040 Comprehensive Plan and Future Land Use Map. The Future Land Use Map designates the subject property as Industrial, which identifies the sole use of the property as industrial. It does not appear that the proposed use of the property for a truck terminal would cause a detriment to the adjacent or near nearby properties and should not have a significant impact on traffic flow.

Staff recommends **APPROVAL** of the request for a use permit for a truck terminal at 8105 Cleckler Road.

ATTACHMENTS

Exhibit A: Legal Description

Exhibit B: Site Plan

Exhibit C: Letter of Intent

Exhibit D: Use Permit Application

EXHIBIT "A"

All that tract or parcel of land lying and being in Land Lot 156 of the 7th District of Fulton County, Georgia, more particularly described as follows:

BEGINNING at an iron pin at the intersection of the northerly side of Cleckler Road (50-foot right-of-way) with the easterly side of Cleckler Road (60-foot right-of-way), and running thence northeasterly along the easterly side of Cleckler Road a distance of 480 feet to an iron pin; thence southeasterly along a line forming an interior angle of 103 degrees, 20 minutes with the easterly side of Cleckler Road a distance of 405.8 feet to an iron pin; thence southwesterly along a line forming an interior angle of 87 degrees 42 minutes with the preceding course a distance of 375 feet to an iron pin on the north side of Cleckler Road as laid out for a 50-foot right-of-way and at the easterly terminus of said road; thence westerly along the northerly side of Cleckler Road as laid out for a 50-foot right-of-way a distance of 480 feet to the first named iron pin and the point of beginning; said tract containing 4.3 acres all as more particularly described from plat of survey made by Eston Pendley, Registered Surveyor, dated March 11, 1970.

EXHIBIT "A"

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Deed Book 60544 Page 274
Filed and Recorded 9/19/2019 1:49:00 PM
2019-0324161
Cathelene Robinson
Clerk of Superior Court
Fulton County, GA
Participant IDs: 6405611605
7067927936

Map Reference # 07-2900-0156-069-9

After recording, return to:

Calloway Title and Escrow, LLC Attn: David Dudley 4710 Ashford-Dunwoody Road, Suite 525 Atlanta, Georgia 30319 CT#2-37982(D)

STATE OF GEORGIA
COUNTY OF DEKALB

QUIT CLAIM DEED

THIS DEED, made this 19th day of September, 2019, between TAYLOR/JONESBORO ROAD, LLC, a Georgia limited liability company ("Grantor") and CLE I, LLC a Georgia limited liability company ("Grantee") (the terms Grantor and Grantee to include their respective heirs, successors and assigns where the context hereof requires or permits).

WITNESSETH THAT: Grantor, for and in consideration of the sum of ONE AND NO/100 (\$1.00) DOLLARS, and other good and valuable consideration, in hand paid at and before the sealing and delivery of these presents, the receipt, adequacy and sufficiency of which being hereby acknowledged by Grantor, has bargained, sold and conveyed, and by these presents does hereby bargain, sell, remise, release, and forever quit-claim unto Grantee all the right, title, interest, claim or demand which the said Grantor has, or may have had, in and to the property more particularly described on Exhibit "A" attached hereto and by this reference incorporated herein (hereinafter, the "Land").

TO HAVE AND TO HOLD the Land unto the said Grantee, so that neither the said Grantor, nor any other person or persons claiming under Grantor shall at any time, claim or demand any right, title or interest to the aforesaid described premises or its appurtenances.

IN WITNESS WHEREOF, Grantor has signed and sealed this Deed the day and year first above written.

Signed, sealed and delivered

in presence of:

Unofficial Witness

Notary Public

MY COMMISSION EXPIRES: 13-14-19

{AFFIX NOTARY SEAL}



TAYLOR/JONESBORO ROAD, LLC

John C. Taylor Sole Member

EXHIBIT "A"

All that tract or parcel of land lying and being in Land Lot 156 of the 7th District, City of Fairburn, Fulton County, Georgia, and being more particularly described as follows:

BEGINNING at a point at the intersection of the northerly right-of-way of Cleckler Road (50' R/W) and the easterly right-of-way of Cleckler Road (60' R/W); thence along the easterly right-of-way of Cleckler Road the following calls: North 12°44'01" East, a distance of 49.52 feet to a point; thence North 18°01'30" East, a distance of 243.01 feet to a point; thence North 25°27'12" East, a distance of 188.86 feet to a 1/2 inch rebar found; thence leaving said right-of-way South 79°03'19" East, a distance of 405.68 feet to a 5/8 inch rebar found; thence South 13°13'14" West, a distance of 374.49 feet to a 3/4 inch crimp top pipe found on the northerly right-of-way of Cleckler Road; thence along said right-of-way South 89°00'23" West, a distance of 480.00 feet to a point, being the POINT OF BEGINNING.

Said tract contains 4.309 acres of land.

Deed Book 60544 Page 274
Filed and Recorded 9/19/2019 1:49:00 PM
2019-0324161
Cathelene Robinson
Clerk of Superior Court
Fulton County, GA
Participant IDs: 6405611605
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Signed, sealed and delivered

in presence of:

Unofficial Witness

Notary Public

MY COMMISSION EXPIRES: 13-14-19

{AFFIX NOTARY SEAL}



TAYLOR/JONESBORO ROAD, LLC

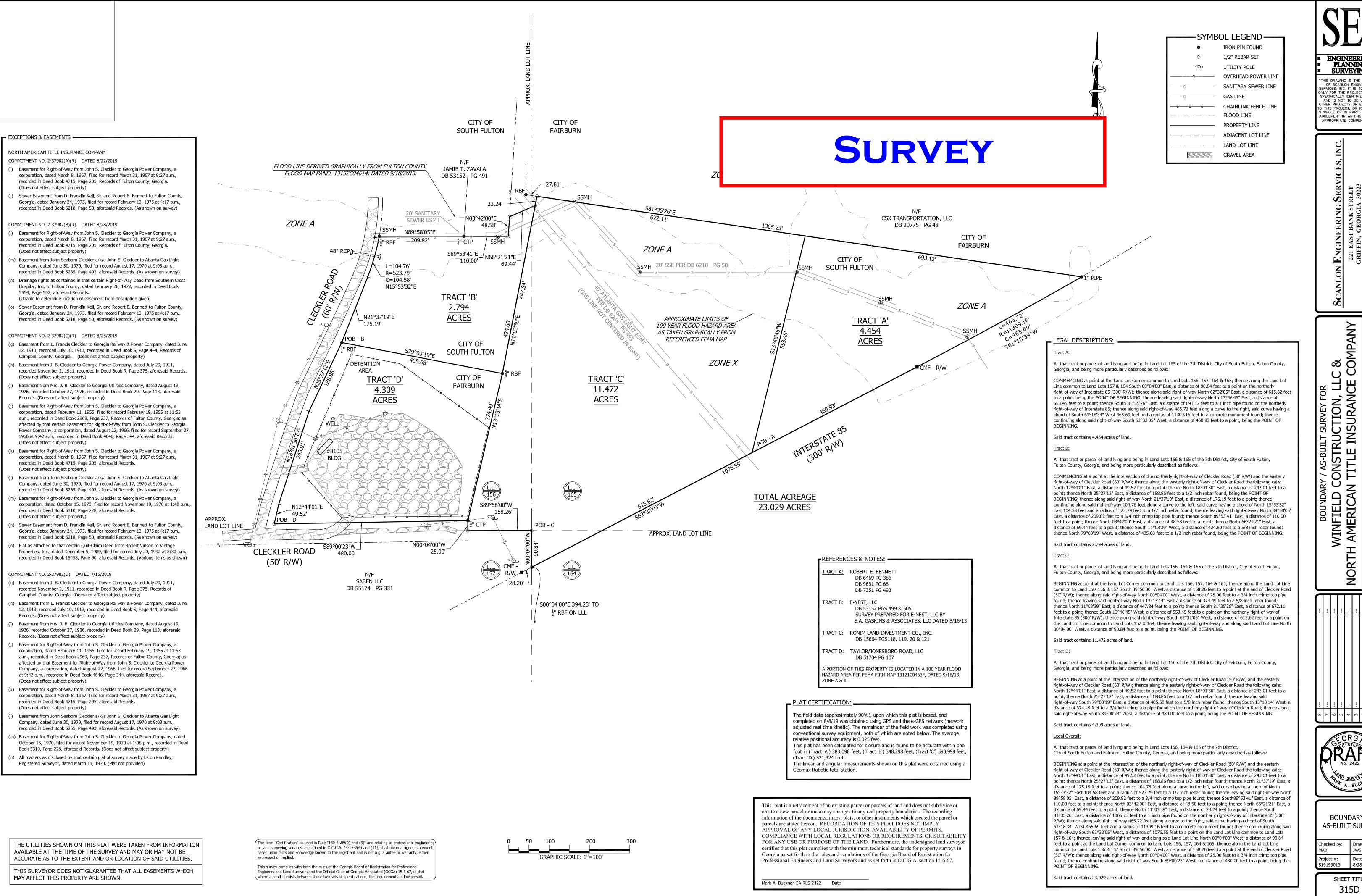
John C. Taylor Sole Member

EXHIBIT "A"

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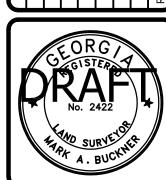
BEGINNING at a point at the intersection of the northerly right-of-way of Cleckler Road (50' R/W) and the easterly right-of-way of Cleckler Road (60' R/W); thence along the easterly right-of-way of Cleckler Road the following calls: North 12°44'01" East, a distance of 49.52 feet to a point; thence North 18°01'30" East, a distance of 243.01 feet to a point; thence North 25°27'12" East, a distance of 188.86 feet to a 1/2 inch rebar found; thence leaving said right-of-way South 79°03'19" East, a distance of 405.68 feet to a 5/8 inch rebar found; thence South 13°13'14" West, a distance of 374.49 feet to a 3/4 inch crimp top pipe found on the northerly right-of-way of Cleckler Road; thence along said right-of-way South 89°00'23" West, a distance of 480.00 feet to a point, being the POINT OF BEGINNING.

Said tract contains 4.309 acres of land.



AND IS NOT TO BE USED ON OTHER PROJECTS OR EXTENSION O THIS PROJECT, OR REPRODUC WHOLE OR IN PART, EXCEPT GREEMENT IN WRITING AND W APPROPRIATE COMPENSATION.

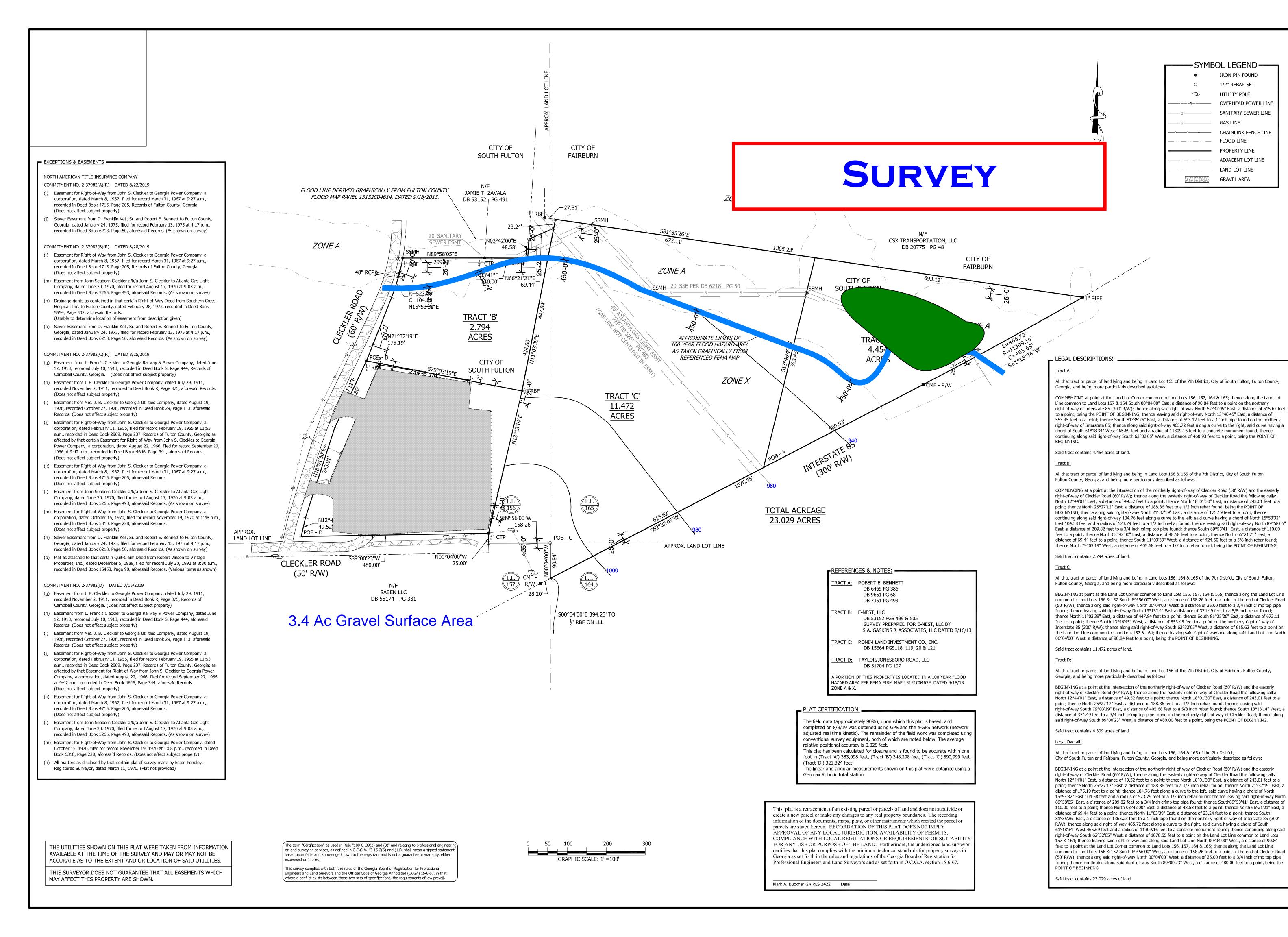
OMPANY



BOUNDARY / AS-BUILT SURVEY

Drawn by: Date: 19199013 8/28/2019

SHEET TITLE 315D SHEET # <u>1</u> OF <u>1</u>



SYMBOL LEGEND -

GAS LINE

FLOOD LINE

PROPERTY LINE

GRAVEL AREA

— — — ADJACENT LOT LINE

— — LAND LOT LINE

IRON PIN FOUND 1/2" REBAR SET UTILITY POLE

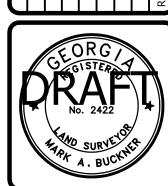
OVERHEAD POWER LINE SANITARY SEWER LINE

AND IS NOT TO BE USED ON OTHER PROJECTS OR EXTENSION O THIS PROJECT, OR REPRODUC WHOLE OR IN PART, EXCEPT GREEMENT IN WRITING AND W

APPROPRIATE COMPENSATION.

OMPANY

WINFIELD CC TH AMERICAN T NORTH



BOUNDARY / AS-BUILT SURVEY

> Checked by: Drawn by: roject #: Date: 19199013 8/28/2019

SHEET TITLE 315D SHEET # <u>1</u> OF <u>1</u>



APPLICATION FOR USE PERMIT

City of Fairburn Community Development Department 26 W. Campbellton Street Fairburn, GA 30213

Date Received:	randum, GA 30213	
USE PERMIT#:(Office Use Only)		
(Office Use Only)		
APPLICANT INFORMATION		
Applicant Name: Logistics Acquisition	ns, LLC	
Address: 1776 Peachtree St NW Su	uite 100	
Phone:770-436-3400	_ Cell:813-240-9083	Fax:
Email Address:gbuckley@tpa-g	rp.com	
OWNER INFORMATION (If differe	ent from Applicant)	
Owner Name: CLE I, LLC		
Address: 211 Smokerise Trace, Pea	achtree City GA 30269	
Phone: _770-436-3400	_ Cell: _ 770-436-3400	Fax:
Email Address:mike@franksandwh	nite.com	
PROPERTY INFORMATION		
Address: 8105 Cleckler Rd, Palmett	to GA	
Parcel ID#: <u>07-2900-0156-069-9</u>	Land Lot:157	District:7
on on one of the original of t	ICE DEDMIT DEGLIECE	
SECTION 1 U	<u>ISE PERMIT REQUEST</u>	
Office use only: USE PERMIT CASE #	ROAD FRONTAGE:	
Under the provisions of Chapter 80, Article I as follows:	V of the Zoning Ordinance, application	on is hereby made to obtain a Use Permit
CURRENT ZONING: M-2		
USE PERMIT REQUEST: Trailer Parking]	

SECTION II

OWNER/PETITIONER

NOTICE: Part 1 and/or Part 2 below must be signed and notarized when the petition is submitted. Please complete Section IV as follows:

- a) If you are the sole owner of the property and not the petitioner complete Part 1.
 b) If you are the petitioner and not the sole owner of the property complete Part 2.
 c) If you are the sole owner and petitioner complete Part 1.

d) If there are multiple owners each must complete a se	eparate Part 1 and include it in the application.
Part 1. Owner states under oath that he/she i legal description, which is made part of	s the owner of the property described in the attached of this application.
TYPE OR PRINT OWNER'S NAME 21 5 MOKERISE TRUCE ADDRESS EACH TUSE C. M. G. & 30769 CITY & STATE DWINER'S SIGNATURE MIKE OF RANKS ANDWHITE COM EMAIL ADDRESS	Sworn to and subscribed before me this the Day of FT MBERO NOTARY PUBLIC DAY OTARY PUBLIC OTARY PHONE NUMBER DAY OTARY OTARY
name above as "Owner"); (2) he/she h of the contract and type name of owner	he/she is the executor or Attorney-in-fact under a ach a copy of the Power-of-Attorney letter and type as an option to purchase said property (attach a copy or above as "Owner"); or (3) he/she has an estate for apply (attach a copy of lease and type name of owner
Logistics Acquisitions, LLC TYPE OR PRINT PETITIONER'S NAME 1776 Peochtree St NW St 100 ADDRESS Atlanta Go 30309	Sworn to and subscribed before me this the Day of TEMBER 20 22 NOTARY PUBLIC
PETITIIONER'S SIGNATURE GRUCIES TPA-GTA.COM EMAIL ADDRESS	PHONE NUMBER PHONE NUMBER PHONE NUMBER
SECTION V ATTORNEY / A Check One: [] Attorney [] Agent	AGENT COUNTY, in I
TYPE OR PRINT ATTORNEY / AGENT NAME	EMAIL ADDRESS
SIGNATURE OF ATTORNEY / AGENT	PHONE NUMBER
ADDRESS	PETITIONER'S SIGNATURE
CITY & STATE ZIP CODE	



USE PERMIT CONSIDERATIONS

	Logistics Acquisitions, LLC
ze the	impact of the proposed use permit with the following questions:
	ther the proposed use is consistent with the comprehensive land use plan adopted by the City acil? Yes
	patibility with land uses and zoning districts in the vicinity of the property for which the use ait is proposed? Yes
	ther the proposed use may violate local, state, and/or federal statues, ordinances or regulations rning land development? No
	effects of the proposed use on traffic flow, vehicular and pedestrian, along adjoining streets? change to existing use.
The l	ocation and number of off-street parking spaces? As shown on site plan attached
The a	amount and location of open spaces? 3.4 acres of parking, as shown on site plan attached exact space count TBD.
Prote	ective screening? 6" chain link fence with 3 rows of protective barb wire

ingress and egr	d egress to the proper	ty? <u>Existing.</u>		



DISCLOSURE REPORT

P. Control of the con					
Office use only: USE PERMIT PETITIC)N #:	CITY COUNCIL ME	EETING DATE:		
opponent for the use	permit petition, or an ontributions aggregating	attorney or agent of the ap	etition have you, as the applicant, owner and/oplicant or opponent for the use permit petition egifts having an aggregate value of \$250.00 to		
	CIRCLE ONE:	YES NO			
		proceed to sections 1 throug complete only section 4.	h 4.		
1. CIRCLE ONE:	Party to Peti	Party to Petition In Opposition to Petition			
	complete sections 2, 3 roceed to sections 3 and				
List all individuals use permit petition	0151110	-	rest in the property which is the subject of this		
o CAMDAICN CONTI	DIDITTIONS.				
3. CAMPAIGN CONTI		ollar Date of	Enumeration and Description of Gift		
Official	Amou	nt Contribution	Valued at \$250.00 or more		
36-67A-1 et. seq. C undersigned's best	onflict of interest in zo knowledge, information	ning actions, and that the in on and belief.	ance with the Official Code of Georgia, Section formation set forth herein is true to the		
Name (print) Logist	ics Acquisitions, LL	LC			
Signature:		Date:			

CLECKLER RD

City of Fairburn 56 Malone Street S.W. Atlanta, Georgia 30213

Re: 8105 Cleckler Rd, Palmetto GA

Parcel Number: 07-2900-0156-069-9

To whom it may concern,

We are pursuing a special use permit at 8105 Cleckler Rd, Palmetto GA, which is identified with parcel number 07-2900-0156-069-9. Our intent is to continue using this property, in its existing use, for tractor trailer storage. The site will be secured with a 6' chain link fence, site lighting automatic security gate and the latest 24/7 high tech security camera system.

Sincerely,

Gene Buckley

October 11, 2022



1776 Peachtree Street, NW Suite 100 Atlanta, GA 30309

Neighbors of: 8105 Cleckler Road Fairburn, Georgia 30213

Re: Notice of Public Participation Program - Special Use Permit, City of Fairburn

Dear Neighbor,

We are in the process of applying for a Special Use Permit with The City of Fairburn. This application procedure requires a "Neighborhood Meeting" to provide information to the surrounding neighbors and address any concerns as well.

This meeting is for informational purposes and to receive feedback from you as we move through the application process. Following this Neighborhood Meeting, the City of Fairburn Planning and Zoning Commission and the Fairburn Mayor and City Council will review our application. These meetings are tentatively scheduled to take place on 11/1/22 and 12/12/22, respectively. We kindly ask that you attend, meeting details are as follows:

The Neighborhood Zoom Meeting

Date: Monday, October 24, 2022

Time: 4:00 PM EST

Location: Virtual Zoom Meeting

Dial in: +1 323-792-6149 **Passcode:** 659 937 535#

We look forward to speaking with you all and encourage you all to attend. At that time, we will answer any questions you may have.

If you have any questions or concerns prior to the meeting, please contact me at the below phone number, email, or address.

Sincerely,

Gene Buckley

1776 Peachtree Street, NW, Suite 100, Atlanta, GA 30309

o: 770.436.3400

gbuckley@tpa-grp.com



Public Participation Program - Special Use Permit, City of Fairburn Neighbors of 8105 Cleckler Road, Fairburn, Georgia 30213

October 24, 2022

Meeting Attendees

Mike White, Current Owner (and Seller)

Elijah Thompson, E Nest LLC

Jen Mehan, Saben LLC

Steven Rudel, TPA Group (Applicant and Purchaser)

Gene Buckley, TPA Group (Applicant and Purchaser)

Susan Utt, TPA Group (Applicant and Purchaser)

Meeting Notes

- The meeting started at 4pm EST, with the above participants joining and making introductions.
- Jenn asked if there was a link to share the screen for the meeting (to supplement the dial-in).
- TPA provided a Microsoft Teams link and shared the intended site plan for the 8105 Cleckler Road project.
- TPA outlined their plan for the site, which is to continue leasing to truck and trailer parking users.
- TPA explained that a Special Use Permit is required to validate the current use for truck parking and affirm compliance with zoning ordinances moving forward.
- Elijah Thompson, neighboring site owner (City of South Fulton), asked a few questions:
 - Infrastructure:
 - Who is responsible for infrastructure on Cleckler Road? Is it land owners, the City, or both?
 - Would there be an opportunity to share improvements costs?
 - TPA confirmed that we would be responsible for improvements relating to our site
 - Site Improvements
 - O What is the blue area shown adjacent to the Site?
 - TPA confirmed that this is a planned detention pond
 - What is the planned finish for the parking surface?
 - TPA would plan to laydown a fresh coat of gravel on the Property
- No further questions or inquiries were asked and the call ended at 4:25pm EST.